



NORTH CAROLINA OFFICE
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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO: GMD16003RAL

SHEET TITLE:

COVER SHEET

PRINT DATE:

10.19.16

SHEET NO:

T-1

CAMERON PLAN 1853

ABBREVIATIONS INDEX

ABV ABOVE	L LENGTH	A0.1.1	SLAB ELEV '1'
A.C. AIR CONDITIONING	LA LAUNDRY	A0.1.2	SLAB ELEV '2'
A.D. AREA DRAIN	LAV LAVATORY	A0.1.3	SLAB ELEV '3'
ADJ ADJUSTABLE	LVR LOUVER	A0.1.4	SLAB ELEV '4'
ALT ALTERNATE	MAX MAXIMUM	A0.2.1	STEMWALL ELEV '1'
ALUM ALUMINUM	MECH MECHANICAL	A0.2.2	STEMWALL ELEV '2'
ARCH ARCHITECTURAL	MFR MANUFACTURER	A0.2.3	STEMWALL ELEV '3'
BA BATHROOM	MN MINIMUM	A0.2.4	STEMWALL ELEV '4'
BF BIFOLD (DOOR)	MISC MISCELLANEOUS	A0.3.1	CRAWL SPACE ELEV '1'
BLDG BUILDING	N NORTH	A0.3.2	CRAWL SPACE ELEV '2'
BLK BLOCK (CMUs)	N.T.S. NOT TO SCALE	A0.3.3	CRAWL SPACE ELEV '3'
BLW BELOW	O.G.D. OVERHEAD GARAGE DOOR	A0.3.4	CRAWL SPACE ELEV '4'
BM BEAM	OH OVERHEAD	A1.1	FLOOR PLANS ELEV '1'
BP BIPASS (DOOR)	OPT OPTIONAL	A1.2	FLOOR PLANS ELEV '2'
BTW BETWEEN	PAR PARALLEL	A1.3	FLOOR PLANS ELEV '3'
CAB CABINET	P.B. PUSH BUTTON	A1.4	FLOOR PLANS ELEV '4'
CER CERAMIC	PDR POWDER	A4.1	SECTIONS
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	PEDESTAL	A5.1	ELEVATIONS '1'
CL CLOSET OR CENTER LINE	PI PLATE	A5.1.1	ELEVATION OPTIONS
CLR CEILING	PR PAIR	A5.1.2	ROOF PLAN '1'
CMU CONCRETE MASONRY UNIT	P.T. PRESSURE TREATED WOOD	A5.2	ELEVATIONS '2'
COL COLUMN	P.V.C. POLYVINYL CHLORIDE PIPE	A5.2.1	ROOF PLAN '2'
CONC CONCRETE	P.V.M.T. PAYMENT	A5.3	ELEVATIONS '3'
CR CARPET	P.W. PRE-WIRE	A5.3.1	ROOF PLAN '3'
CR CORROSION RESISTANT	P.W.D. PLYWOOD	A5.4	ELEVATIONS '4'
CSMT CASEMENT	RAG RETURN AIR GRILL	A5.4.1	ROOF PLAN '4'
C.T. CERAMIC TILE	REF REFERENCE	E1.0	UTILITY PLANS
D DRYER	REFR REFRIGERATOR		
DEL DOUBLE	REQ REQUIRED		
DH DOUBLE HUNG	S SOUTH		
DIM DIMENSION	S.D. SQUARE FEET		
DISP DISPOSAL	S.G.D. SLIDING GLASS DOOR		
DN DOWN	SH SINGLE HUNG OR SHELF		
DR DOOR	SIM SIMILAR		
DS DOWNSPOUT	SP SLOPE SLIDING		
DW DISH WASHER	STC SCHEDULE 40 PIPE		
DWG DRAWING	SPEC SPECIFICATIONS		
E EAST	STD STANDARD		
EA EACH	STR STRUCTURAL		
ELEV ELEVATION	SQ SQUARE		
ELEC ELECTRICAL	S.V.M. SMOOTH FOUR SIDES		
EQ EQUAL	T TREAD (AT STAIRS) OR TILE		
EXT EXTERIOR	T.T. TOWEL BAR		
FAU FORCED AIR UNIT	TEMP TEMPERED (GLASS)		
F.C. FLOOR CHANGE	T&G TONGUE & GROOVE		
F.D. FLOOR DRAIN	T.O.C. TOP OF CURB		
FFL FINISH FLOOR LINE	TV TELEVISION		
F.G. FINISHED GRADE	TYP TYPICAL		
FLR FLOORING	U.N.O. UNLESS NOTED OTHERWISE		
FL FLOURESCENT (LIGHT)	V.B. VAPOR BARRIER		
FND FOUNDATION	VERT VERTICAL		
F.O.S. FACE OF STUD	V.T.R. VENT THRU ROOF		
FTG FOOTING	W WASHING MACHINE		
FX FUSED GLASS	W.W. WOOD		
GALV GALVANIZED	WDW WINDOW		
GAR GARAGE	WH WATER HEATER		
G.B. GYPSUM BOARD	WI WROUGHT IRON		
GD GRADE OR GRADING	WIC WALK-IN CLOSET		
G.D.O. GARAGE DOOR OPENER	W.W.O. WITH OR WITHOUT		
GI GROUND FAULT INTERRUPTER	WP WATERPROOFING		
GL GLASS OR GLAZING	WWM WELDED WIRE MESH		
GYP GYPSUM BOARD	R. PROPERTY LINE		
HB HOSE BIBB	O ROUND / DIAMETER		
HD HEAD OR HARD	& ANG		
HDR HEADER	& CENTERLINE		
HGT HEIGHT	# POUND / NUMBER		
HVAC HEATING/VENTILATING/AIR COND.			
HWD HARDWOOD			
INT INTERIOR			
JT JOINT			
JT JOINT			
KIT KITCHEN			

BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:
SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS.)

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

GENERAL NOTES:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES.)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION. ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NCRC SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.

BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY; WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE. PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

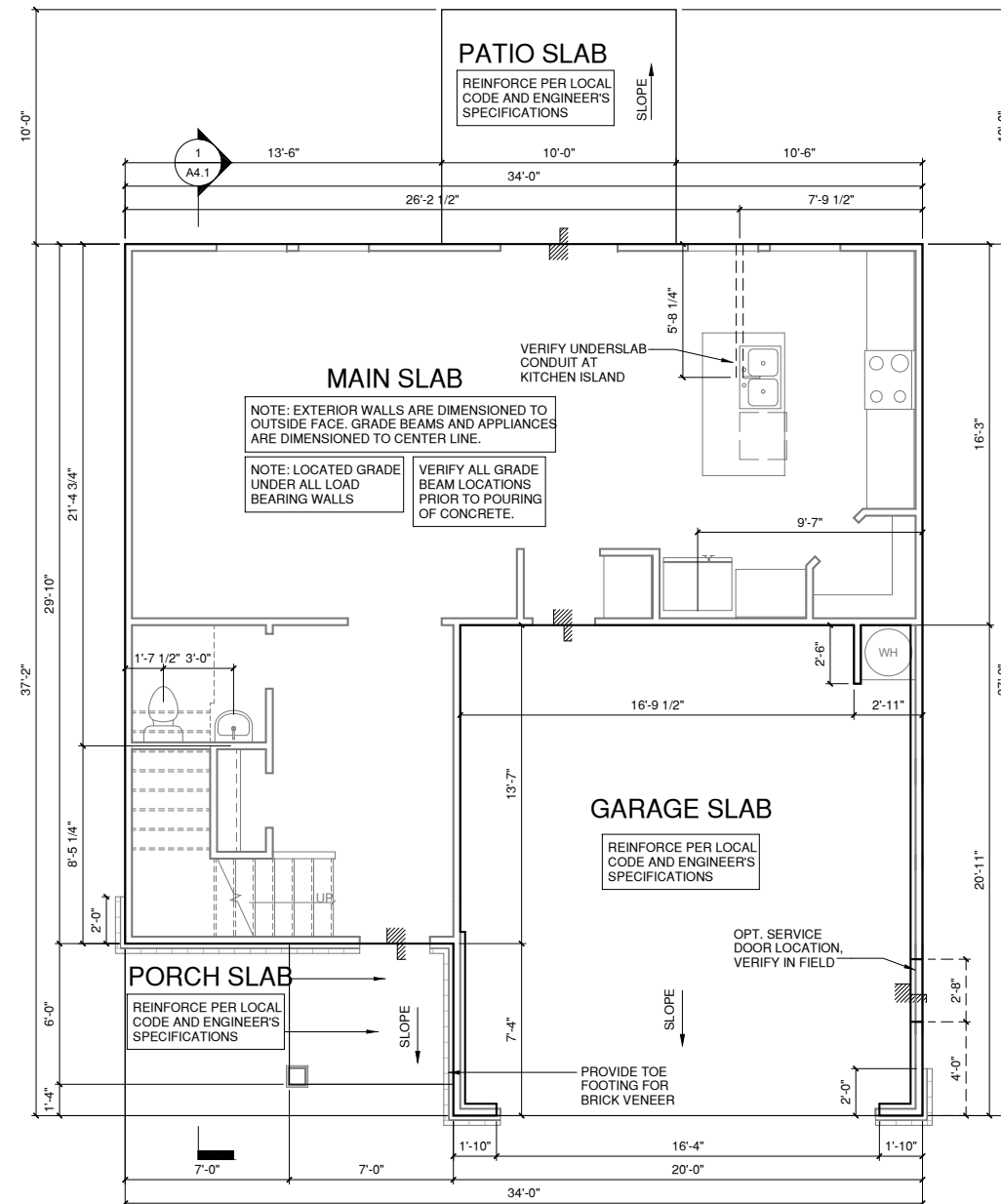
NOTES FOR NORTH CAROLINA:

- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
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- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1.)
- TYP STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER NCRC SECTION R311.3.) PROVIDE A SLIP-RESISTANT FINISH.
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REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

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1 SLAB ELEV '1'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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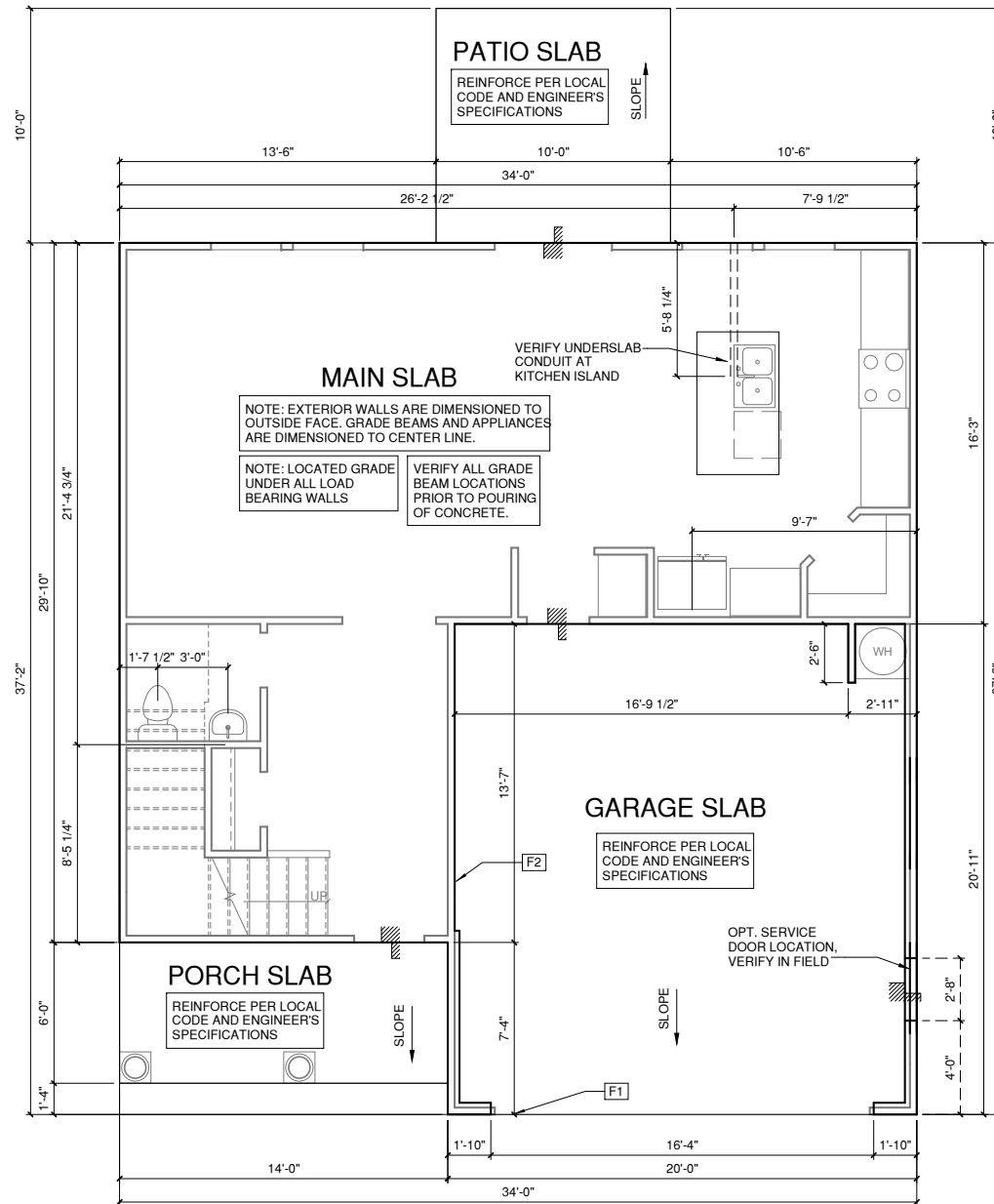
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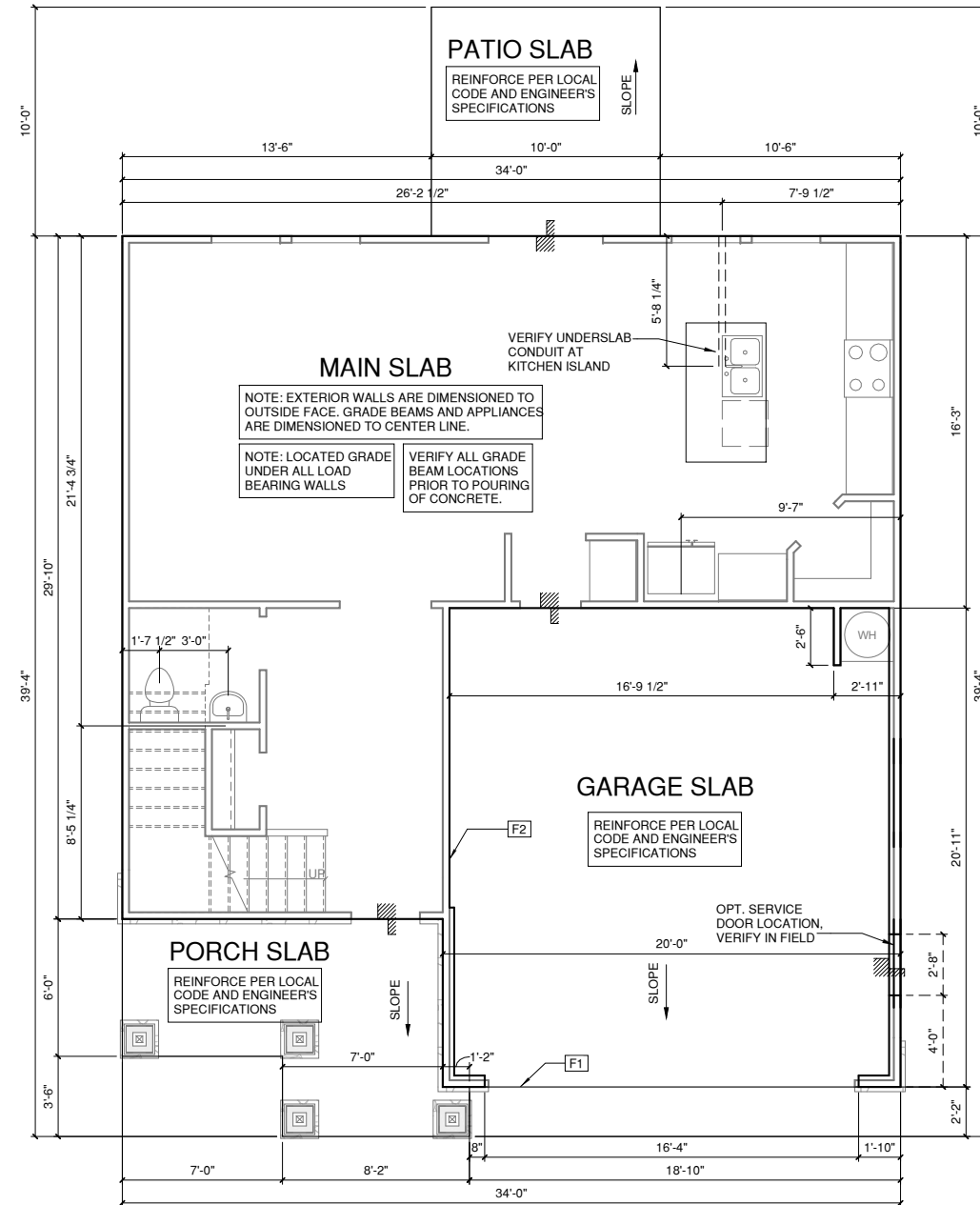
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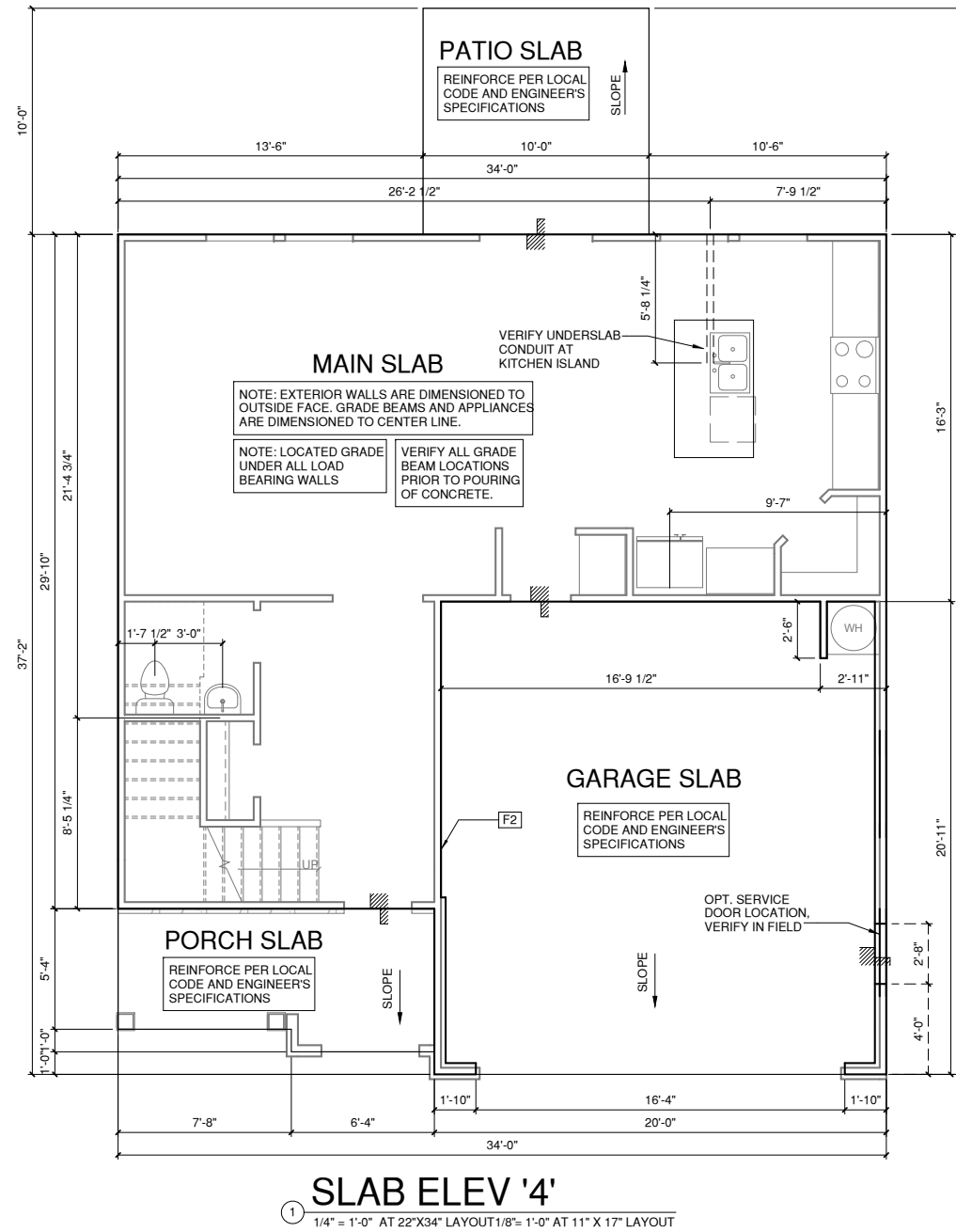
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REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

FOUNDATION KEYNOTE LEGEND

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICKVENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRS SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



SLAB ELEV '4'

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
102 FOUNTAIN BROOK CIRCLE
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CARY, NC 27511
PHONE: (919) 320-3022

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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
SLAB ELEV '4'

PRINT DATE:
10.19.16

SHEET NO:
A0.1.4

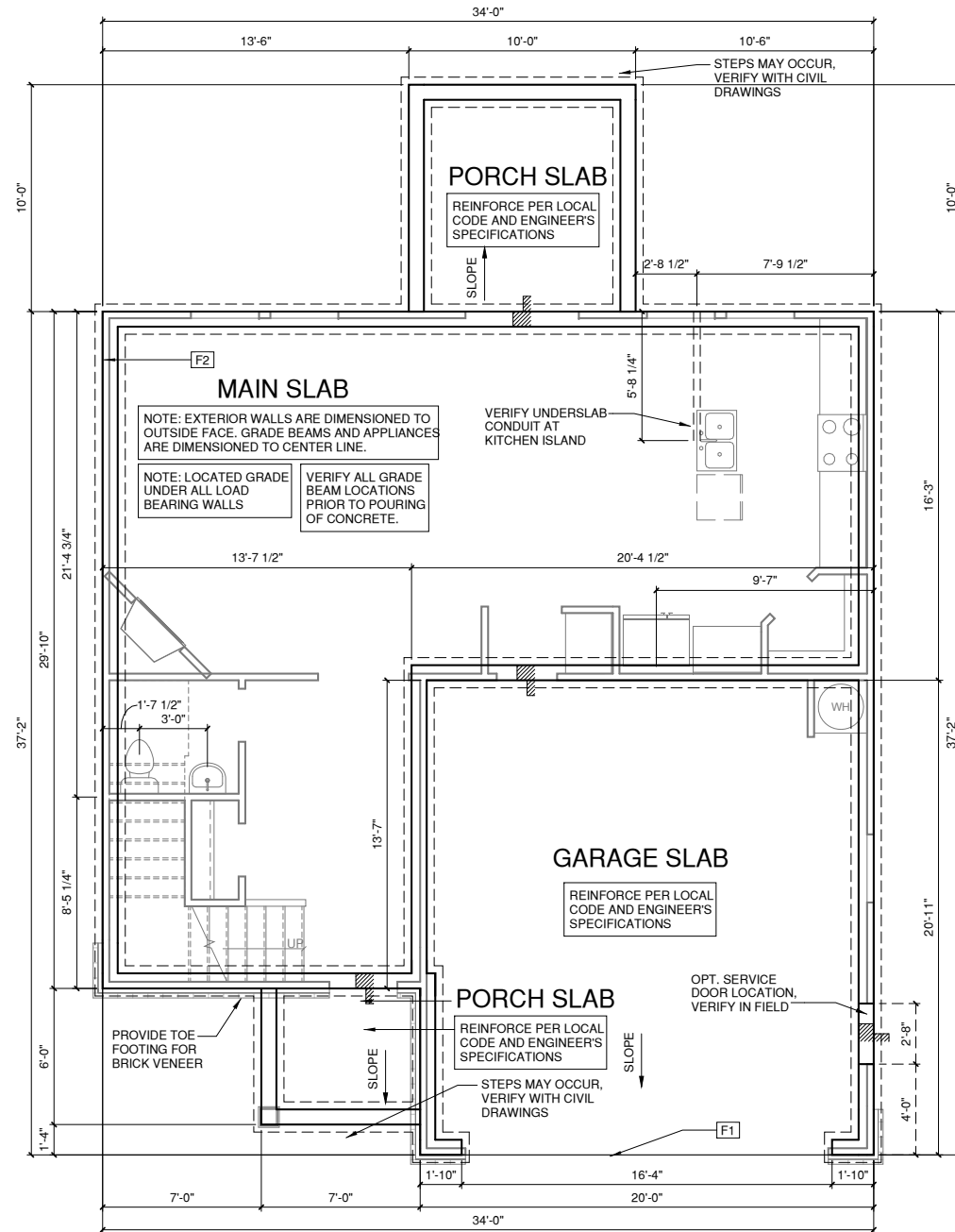
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9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

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PROJECT NO:
GMD16003RAL

SHEET TITLE:

STEMWALL ELEV '1'

PRINT DATE:
10.19.16

SHEET NO:
A0.2.1

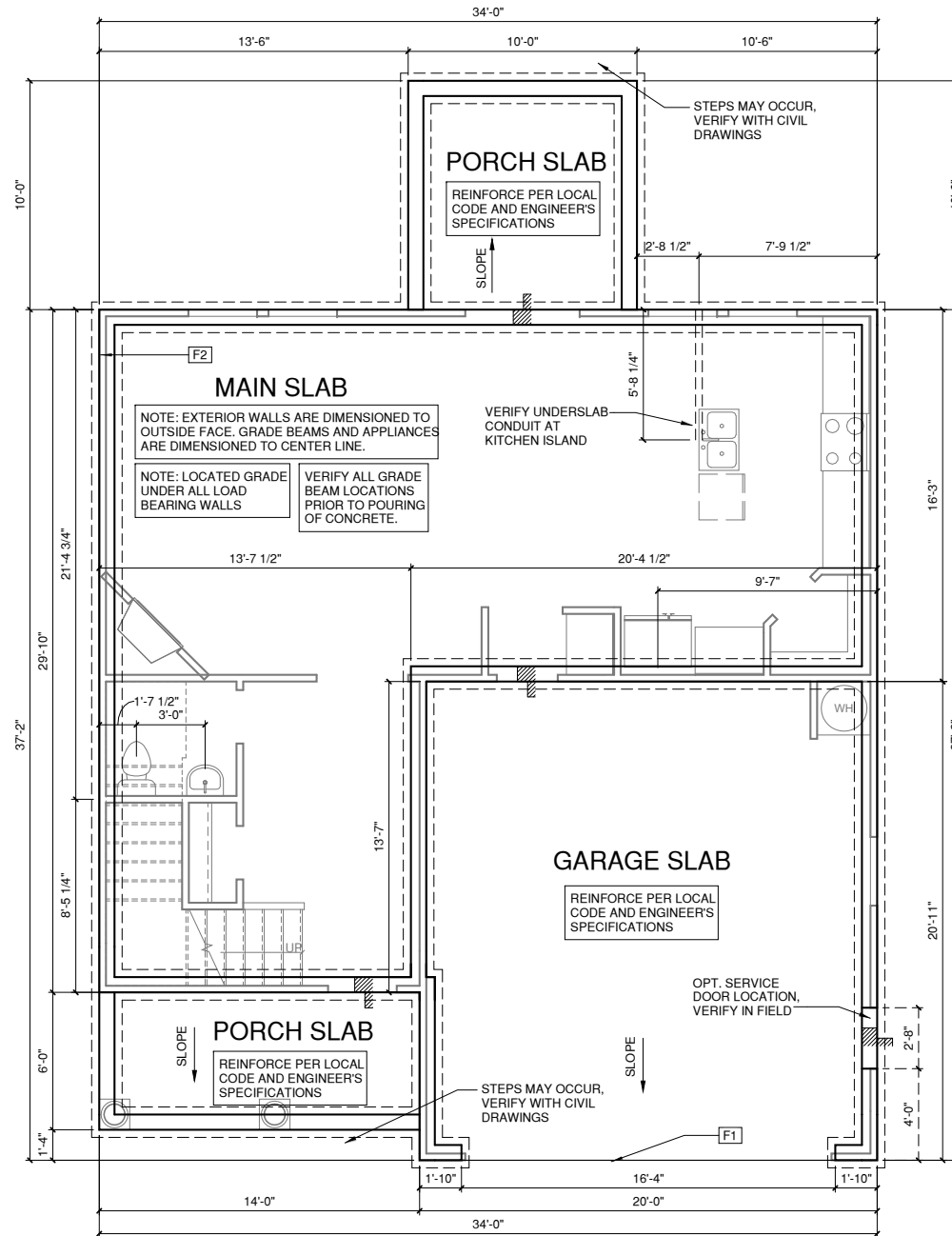
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 RALEIGH, NC 27613
 919-741-7993

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 GMD16003RAL

SHEET TITLE:
STEMWALL ELEV '2'

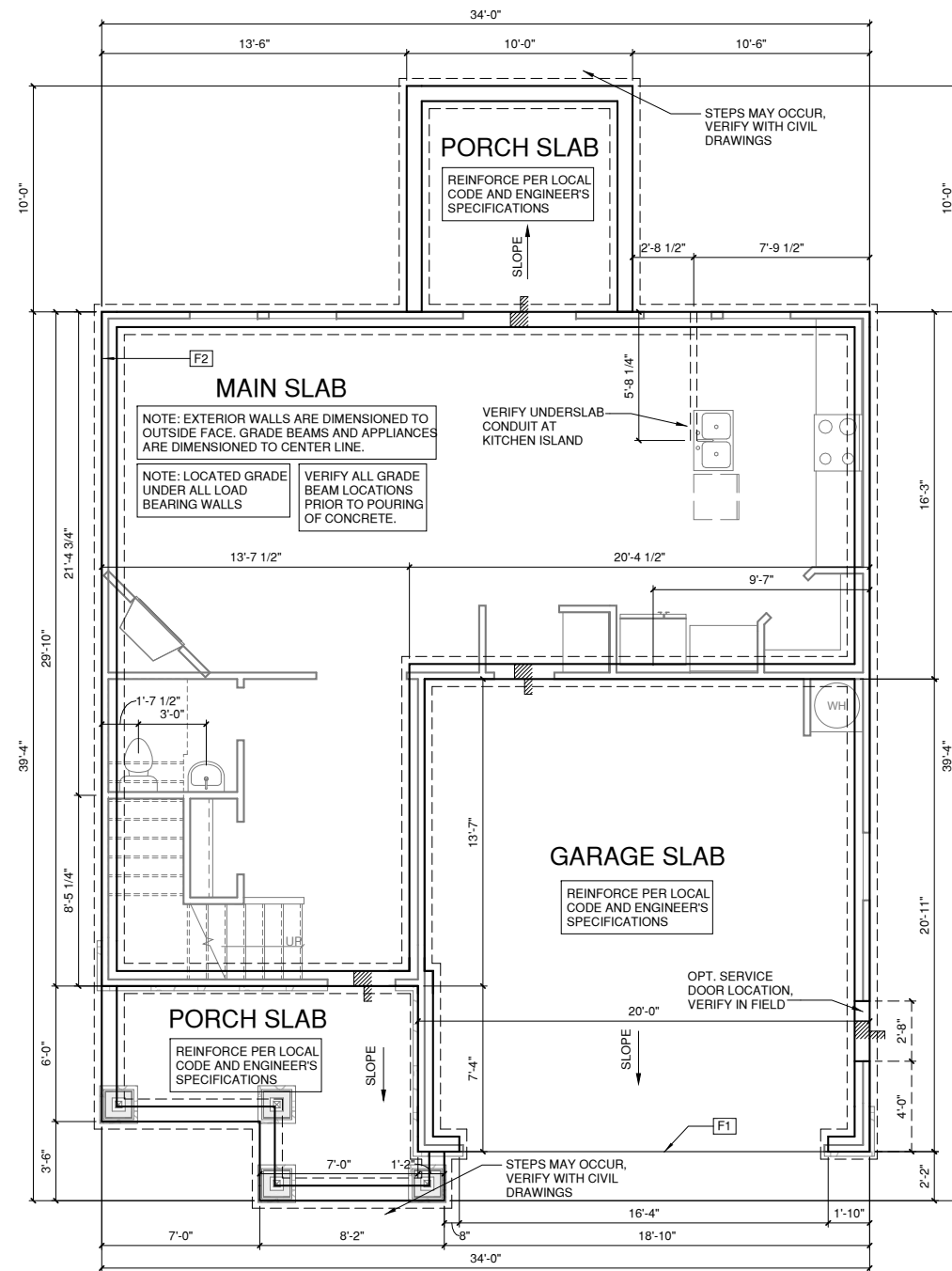
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PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
STEMWALL ELEV '3'

PRINT DATE:
10.19.16

SHEET NO:
A0.2.3

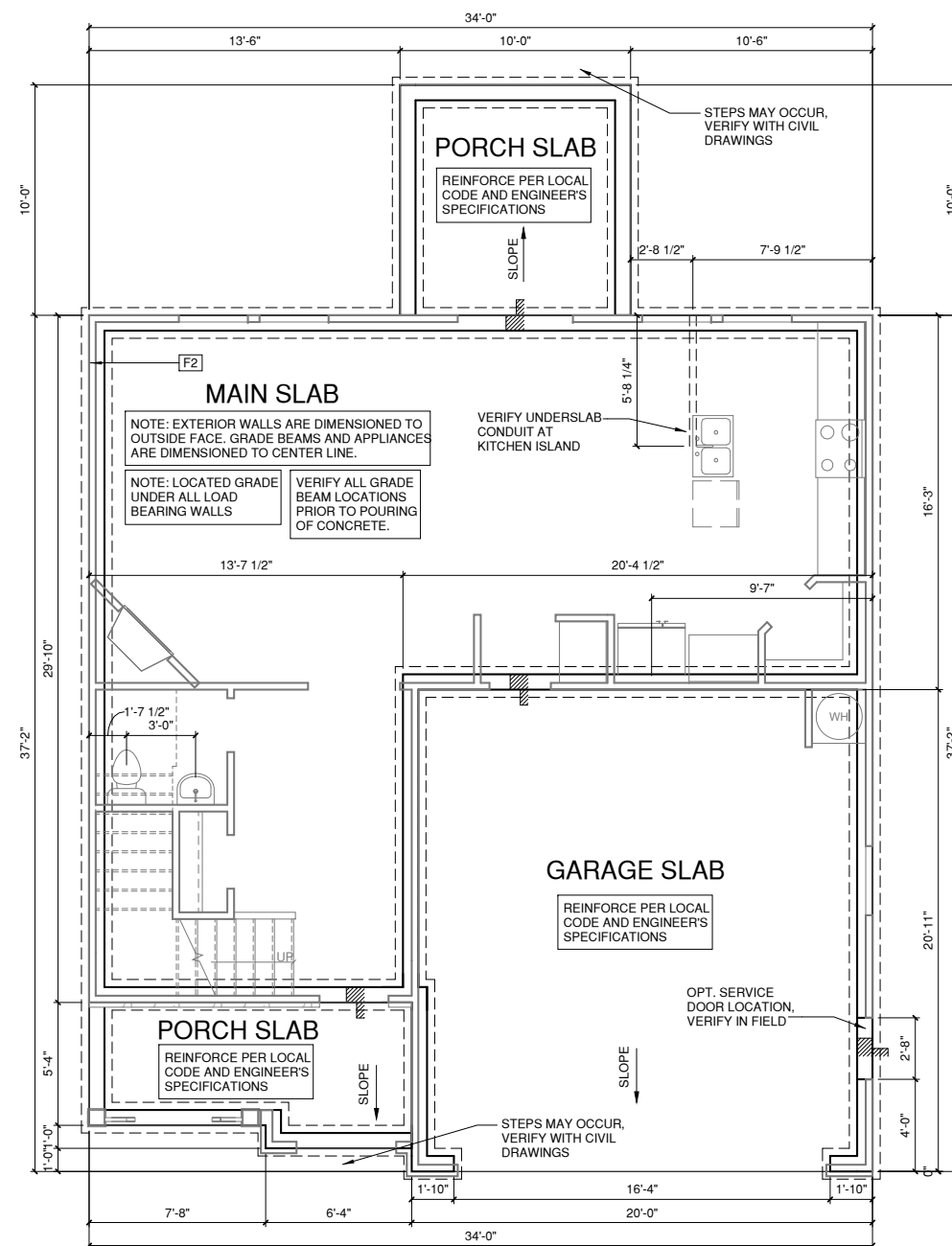
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STEMWALL ELEV '4'
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 102 FOUNTAIN BROOK CIRCLE
 SUITE C
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 QUACKENBUSH HOMES LLC
 9220 FAIRBANKS DR SUITE 240
 RALEIGH, NC 27613
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STEMWALL ELEV '4'

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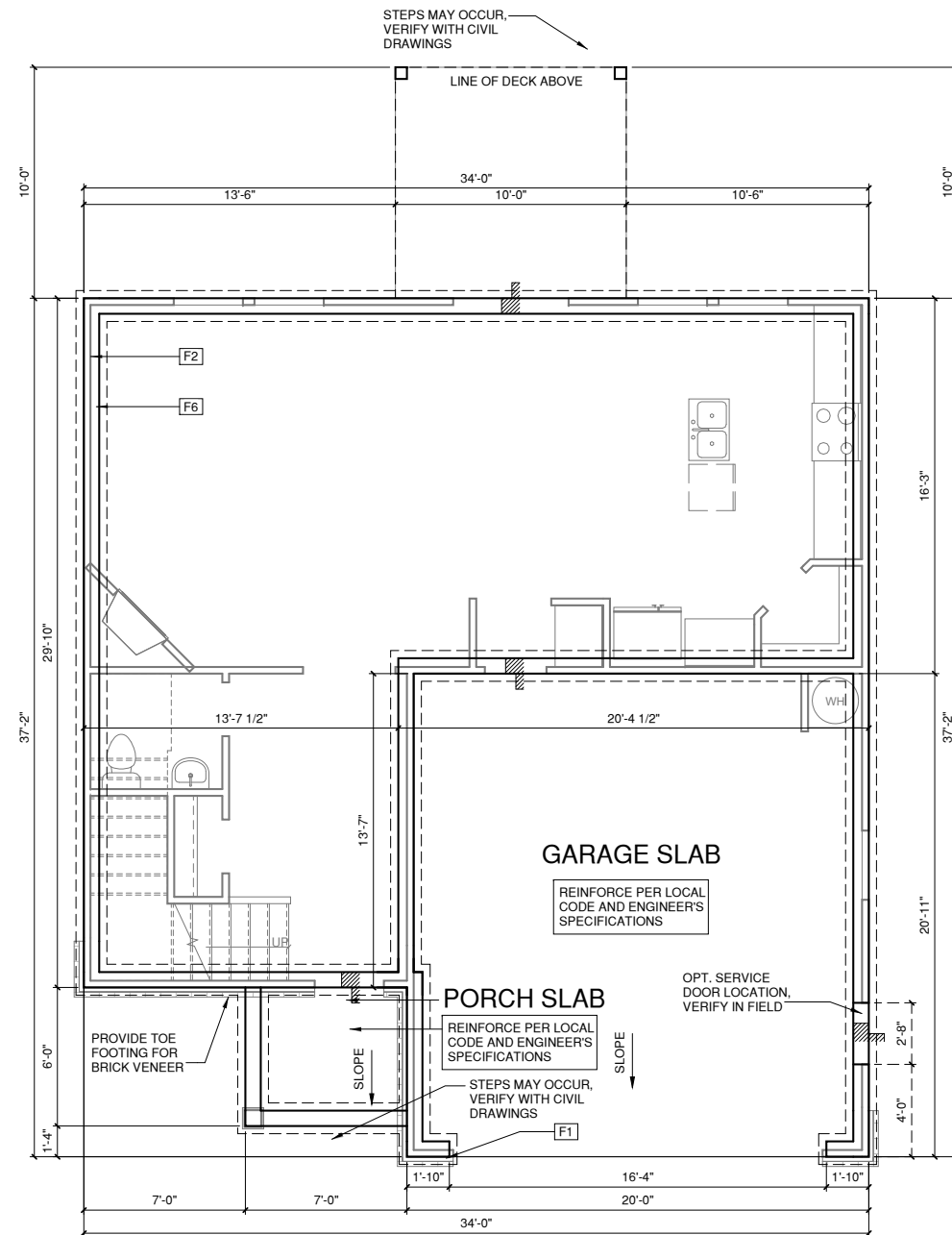
SHEET NO:
A0.2.4

CRAWL SPACE NOTES FOR NORTH CAROLINA:

- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
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- AT VENTED CRAWL SPACE:
APPLY AN APPROVED VAPOR RETARDER OR EQUIVALENT, 6 MIL POLY-VINYL, GROUND COVER OVER FINISH GRADE OR CRAWL SPACE PER NCRC SECTION 408.2
- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
- PROVIDE AN ACCESS OPENING, MINIMUM SIZE OF 18"X24" FOR CRAWL ACCESS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LARGER SIZE REQUIREMENTS IF MECHANICAL EQUIPMENT IS LOCATED IN CRAWL. (PER NCRC SECTION 408.8)
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CRAWL SPACE ELEV '1'

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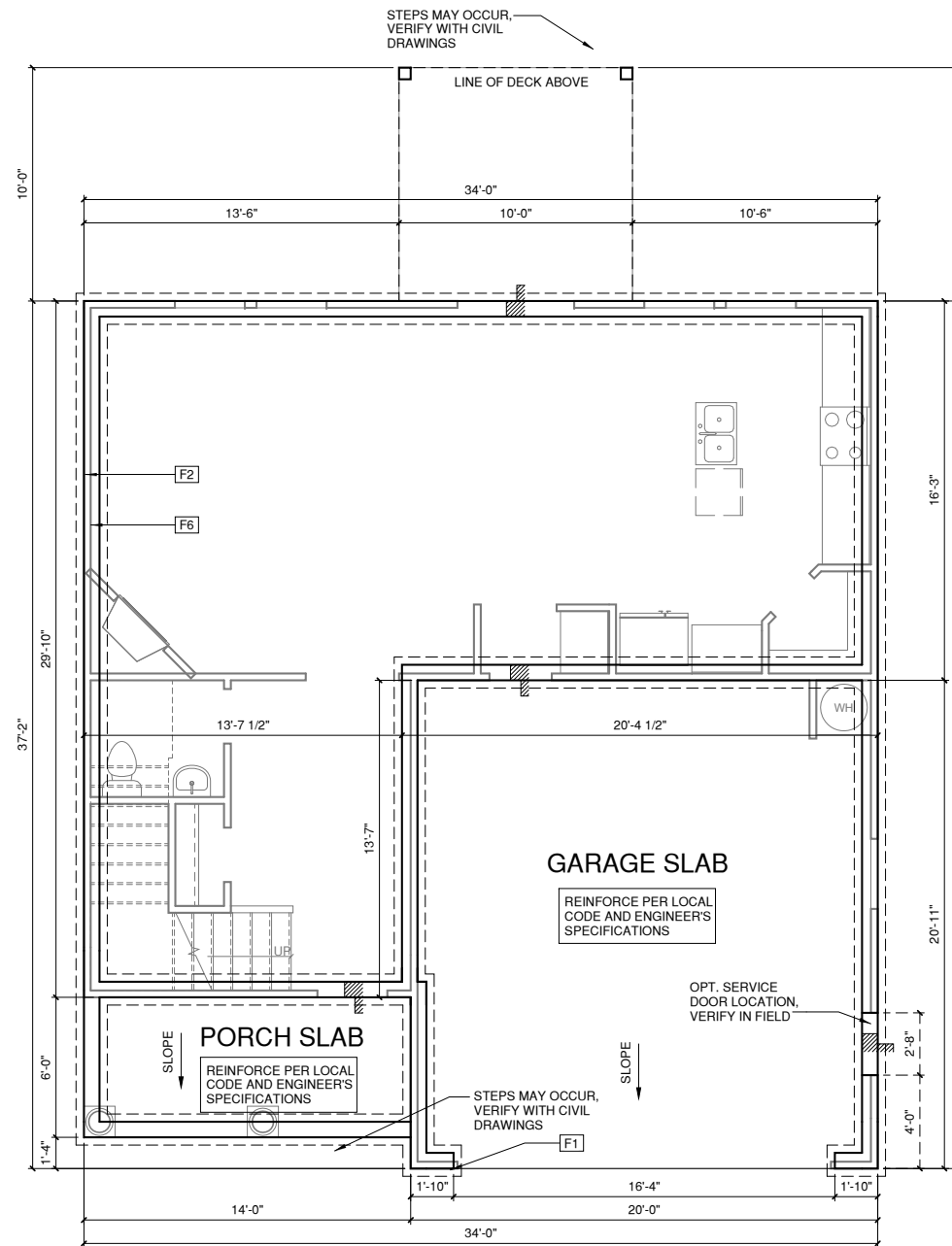
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 -AT VENTED CRAWL SPACE:
 -APPLY AN APPROVED VAPOR RETARDER OR EQUIVALENT, 6 MIL POLY-VINYL. GROUND COVER OVER FINISH GRADE OR CRAWL SPACE PER NCRC SECTION 408.2
 -PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
 -PROVIDE AN ACCESS OPENING, MINIMUM SIZE OF 18"X24" FOR CRAWL ACCESS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LARGER SIZE REQUIREMENTS IF MECHANICAL EQUIPMENT IS LOCATED IN CRAWL. (PER NCRC SECTION 408.8)
 -WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

FOUNDATION KEYNOTE LEGEND

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICK VENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRC SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



CRAWL SPACE ELEV '2'
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
 QUACKENBUSH HOMES LLC
 9220 FAIRBANKS DR SUITE 240
 RALEIGH, NC 27613
 919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
 GMD16003RAL

SHEET TITLE:
CRAWL SPACE ELEV '2'

PRINT DATE:
 10.19.16

SHEET NO:
A0.3.2

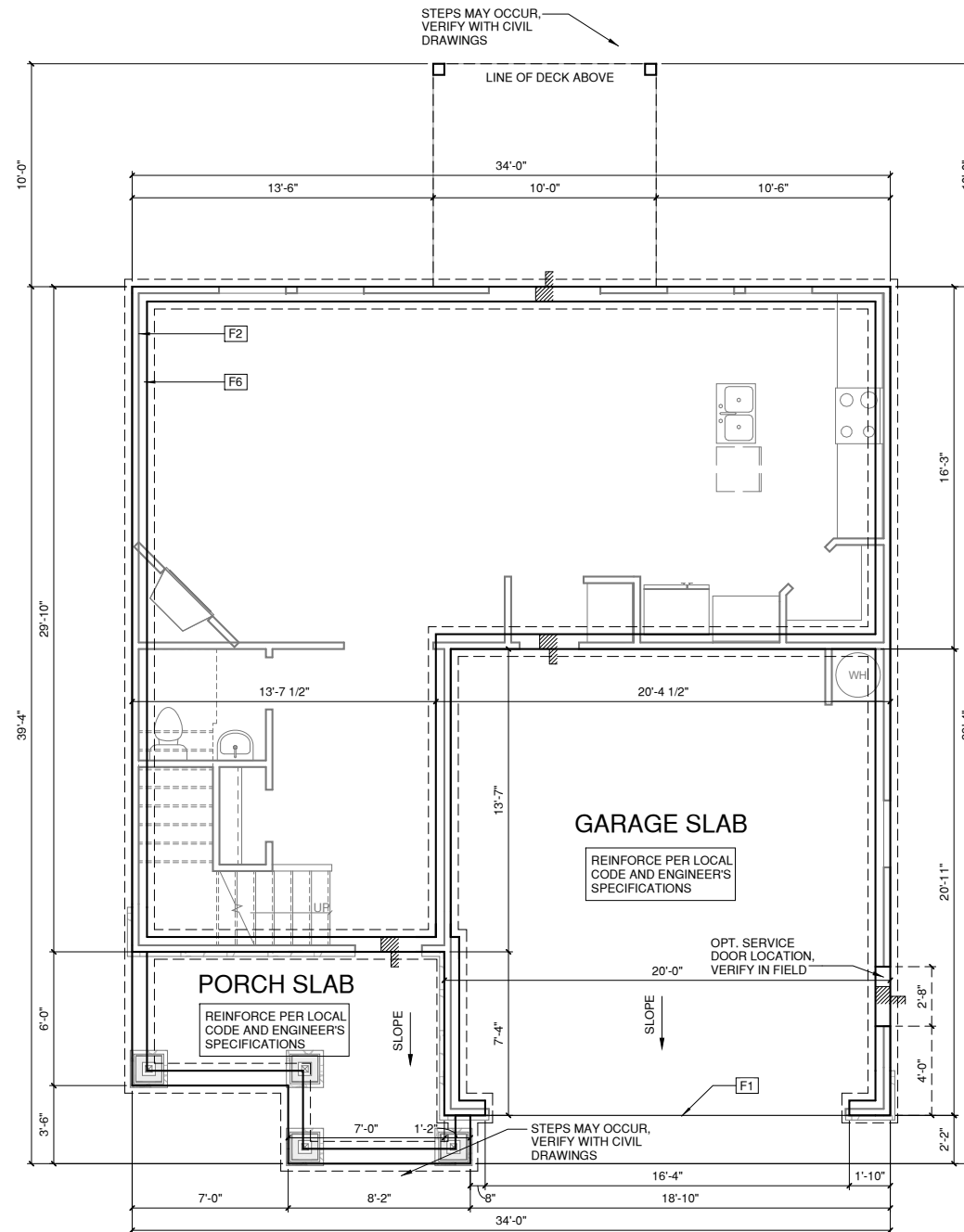
CRAWL SPACE NOTES FOR NORTH CAROLINA:

- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.
- SOILS TREATMENT:
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NCDEPT. OF AGRICULTURE.)
- AT VENTED CRAWL SPACE:
APPLY AN APPROVED VAPOR RETARDER OR EQUIVALENT, 6 MIL POLY-VINYL, GROUND COVER OVER FINISH GRADE OR CRAWL SPACE PER NCRC SECTION 408.2
- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
- PROVIDE AN ACCESS OPENING, MINIMUM SIZE OF 18"X24" FOR CRAWL ACCESS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LARGER SIZE REQUIREMENTS IF MECHANICAL EQUIPMENT IS LOCATED IN CRAWL. (PER NCRC SECTION 408.8)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

FOUNDATION KEYNOTE LEGEND

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICKVENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRC SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



CRAWL SPACE ELEV '3'

② 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
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PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

GMD16003RAL

SHEET TITLE:

CRAWL SPACE ELEV '3'

PRINT DATE:

10.19.16

SHEET NO:

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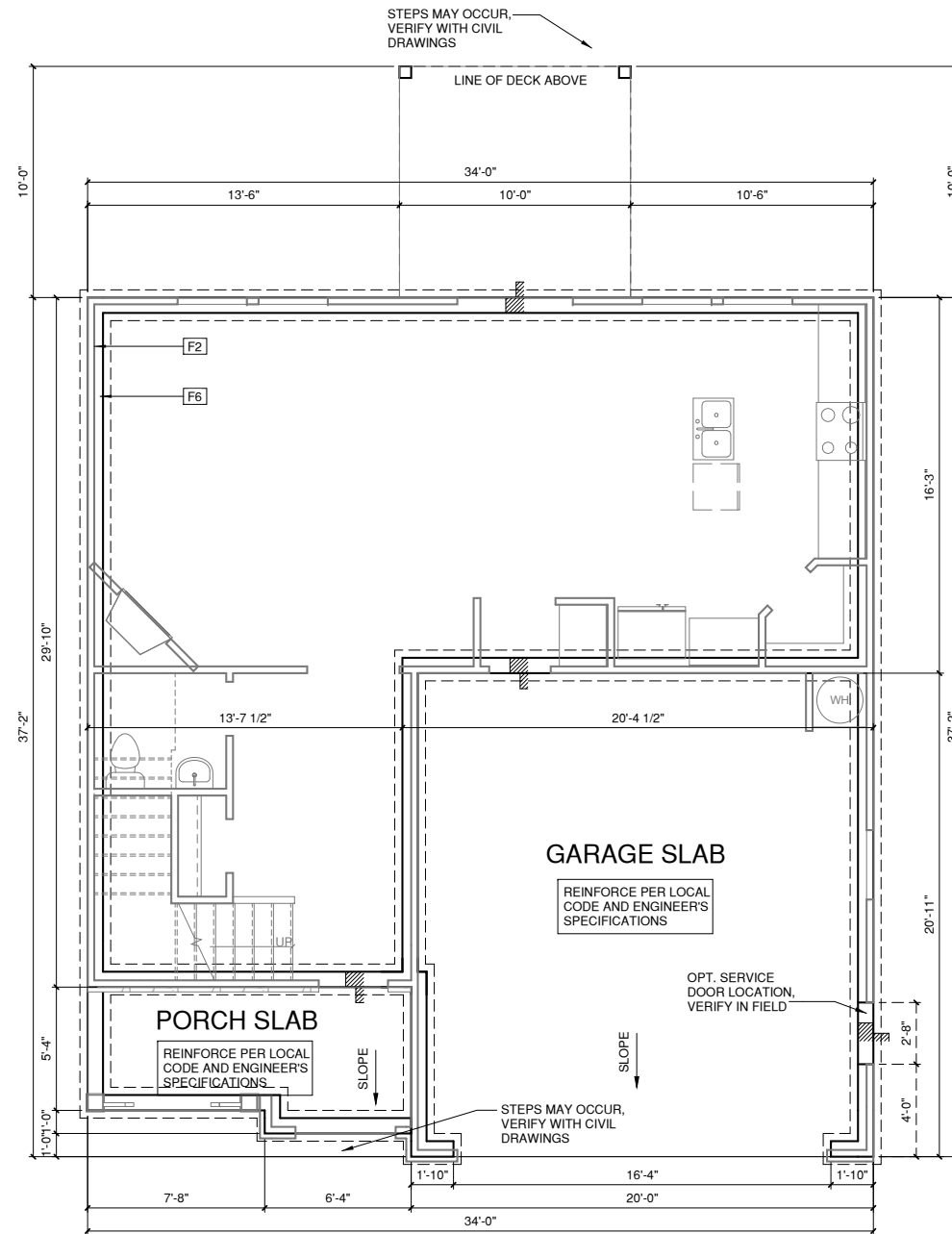
CRAWL SPACE NOTES FOR NORTH CAROLINA:

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- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.
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- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.
- SOILS TREATMENT:
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REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

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CRAWL SPACE ELEV '4'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
CRAWL SPACE ELEV '4'

PRINT DATE:
10.19.16

SHEET NO:
A0.3.4

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASSED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS



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9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

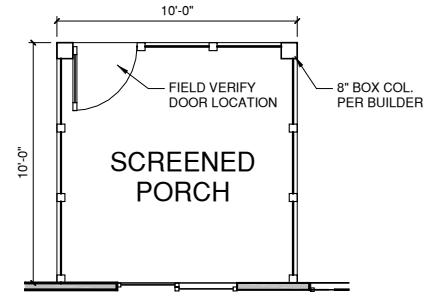
CONSTRUCTION SET

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QUACKENBUSH HOMES

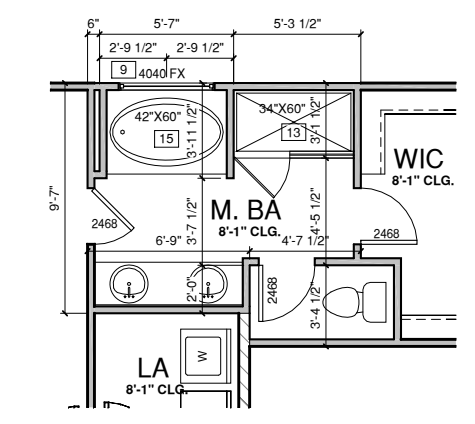
PROJECT NO:
GMD16003RAL

SHEET TITLE:
FLOOR PLANS ELEV '1'

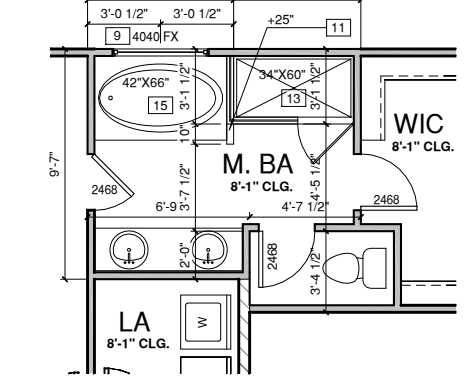
PRINT DATE:
10.19.16
SHEET NO:
A1.1



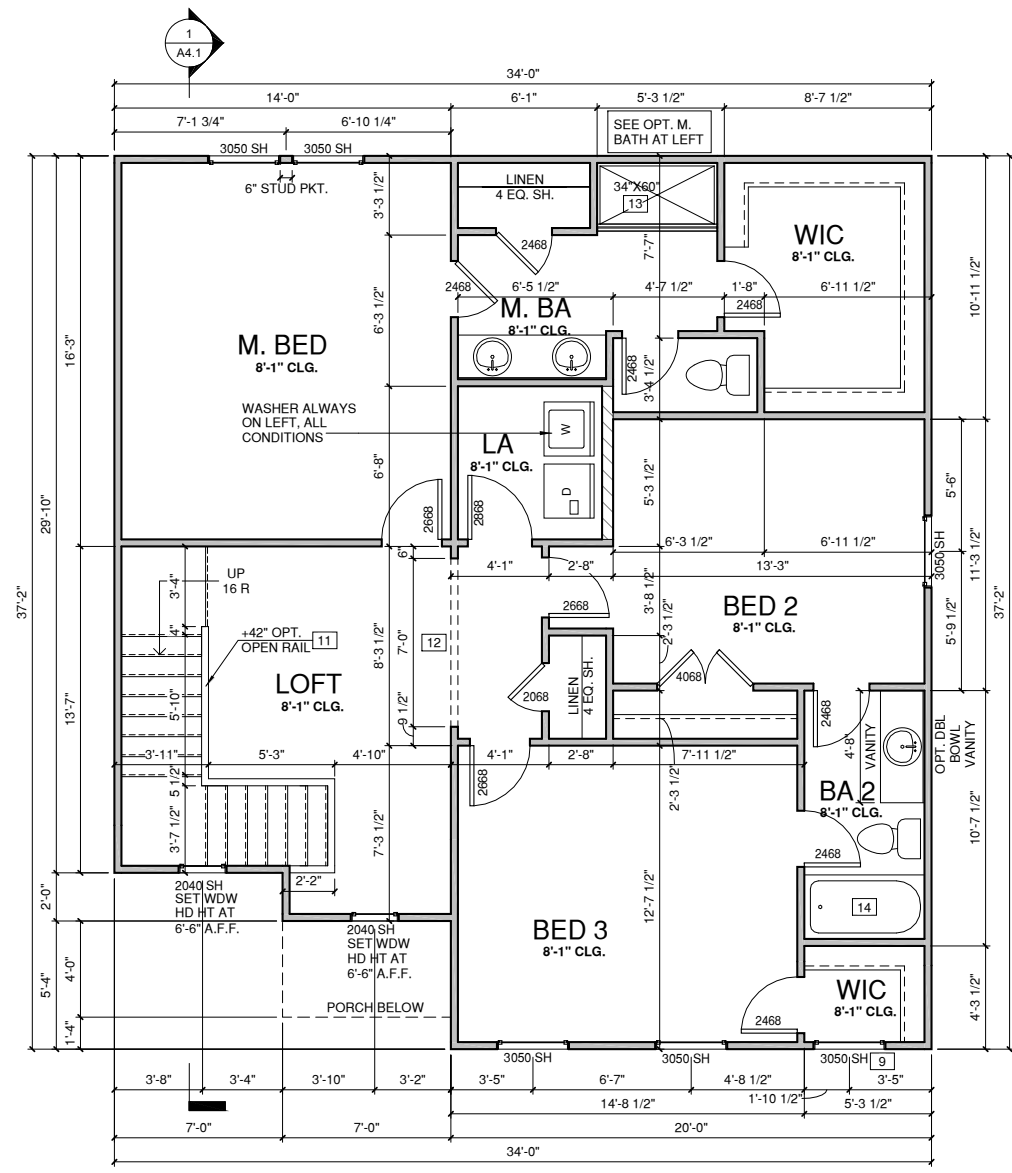
5 OPT. SCREENED PORCH
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



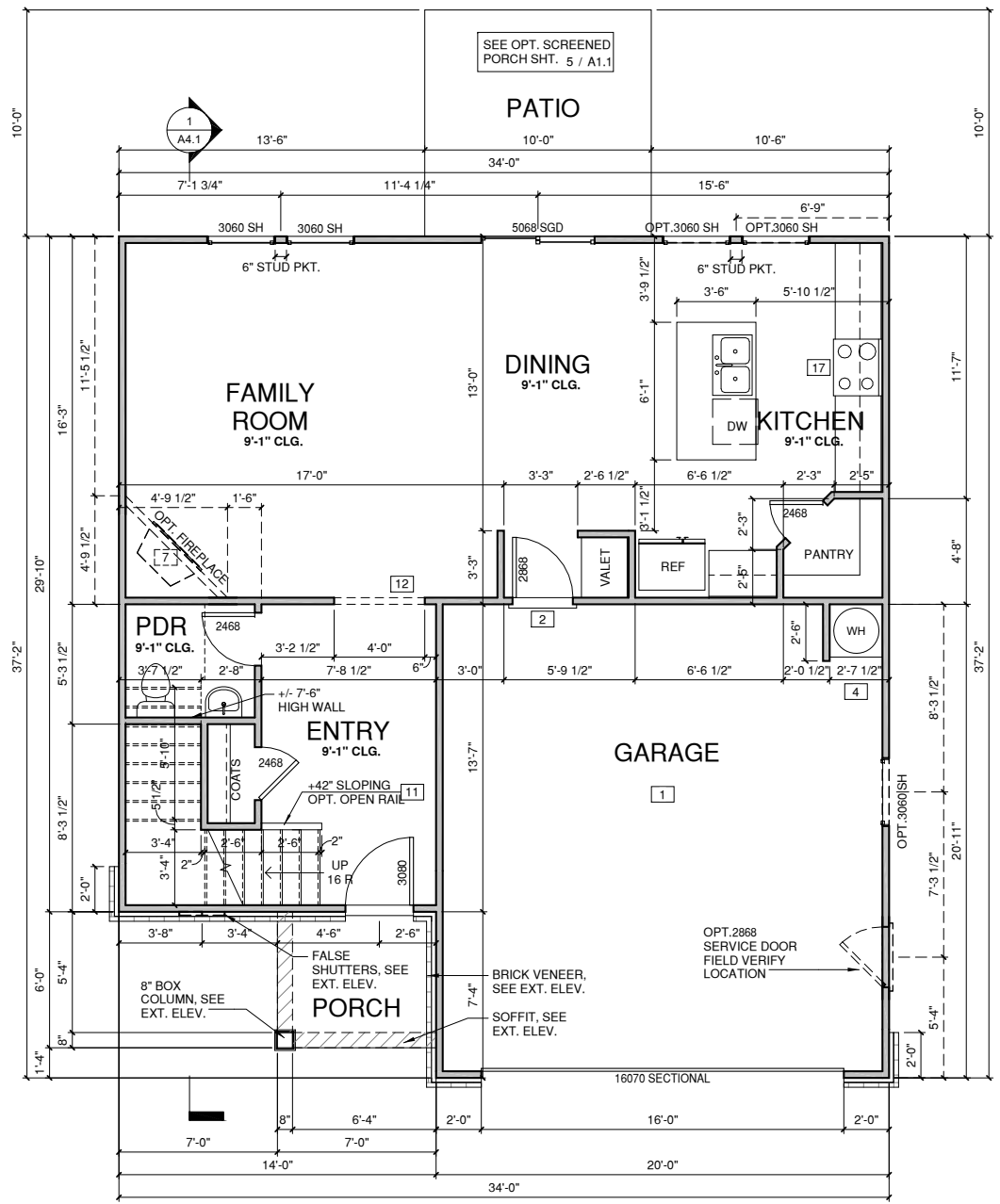
3 OPT. MASTER BATH 1
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



4 OPT. MASTER BATH 2
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



2 SECOND FLOOR ELEV '1'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 FIRST FLOOR ELEV '1'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O., SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS

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QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

GMD16003RAL

SHEET TITLE:

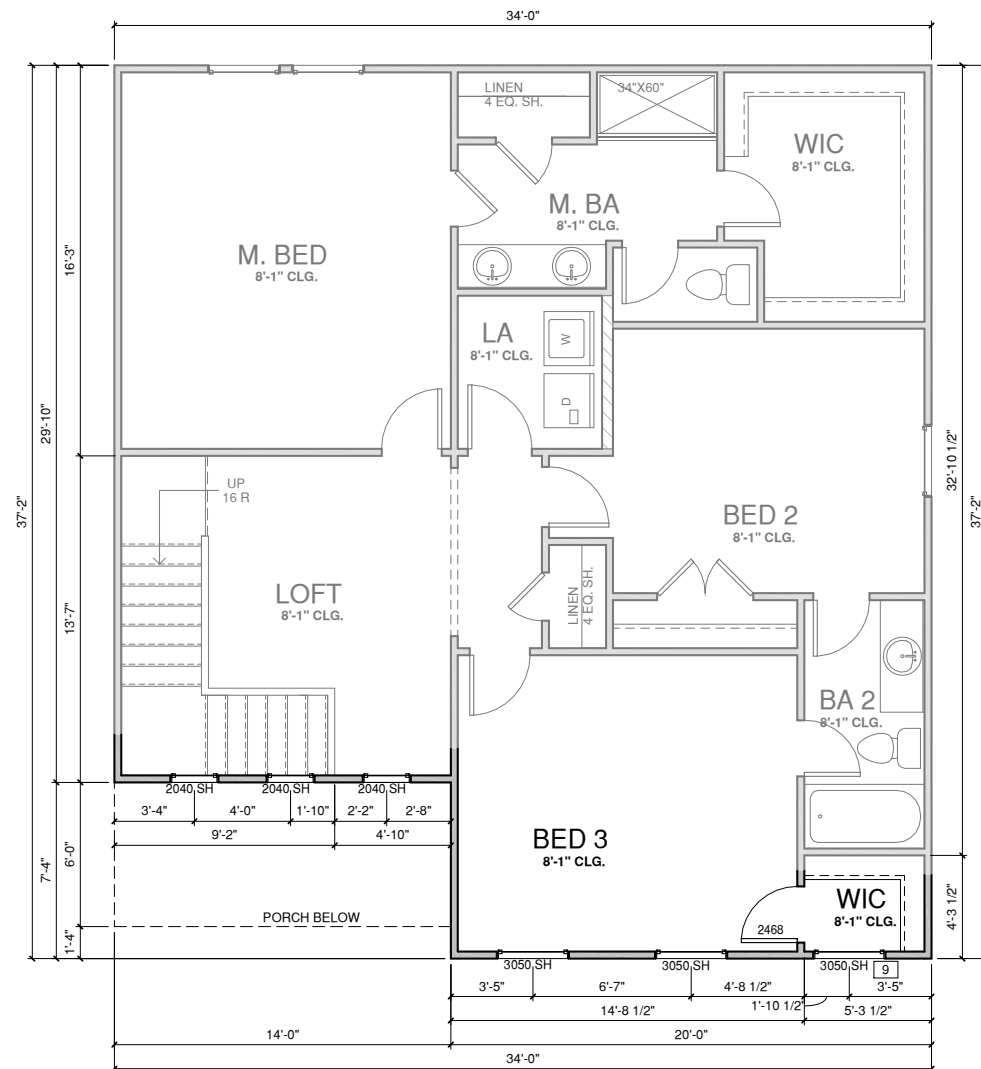
**FLOOR PLANS
ELEV '2'**

PRINT DATE:

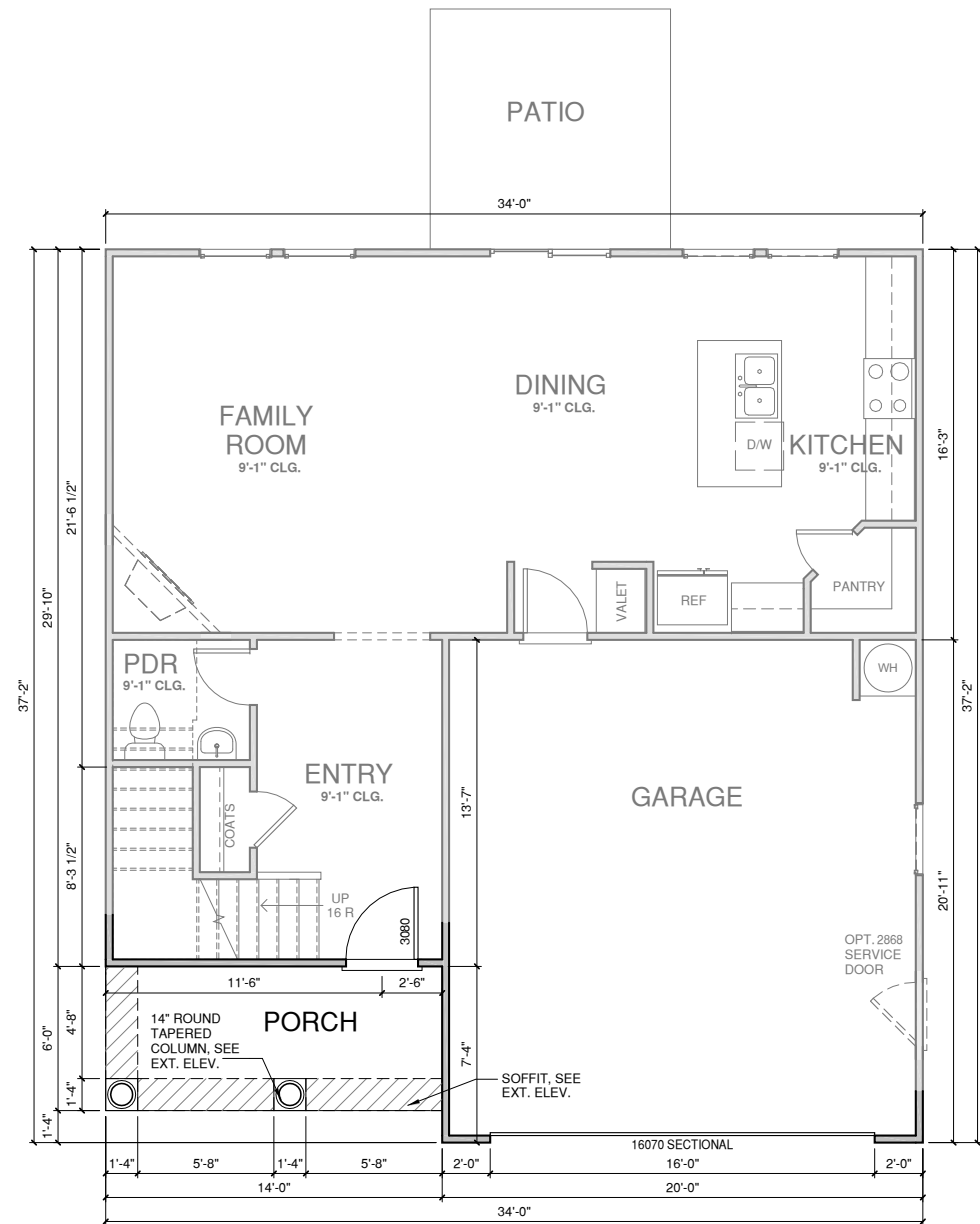
10.19.16

SHEET NO:

A1.2



② SECOND FLOOR ELEV '2'
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



① FIRST FLOOR ELEV '2'
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

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9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
**FLOOR PLANS
ELEV '3'**

PRINT DATE:
10.19.16

SHEET NO:

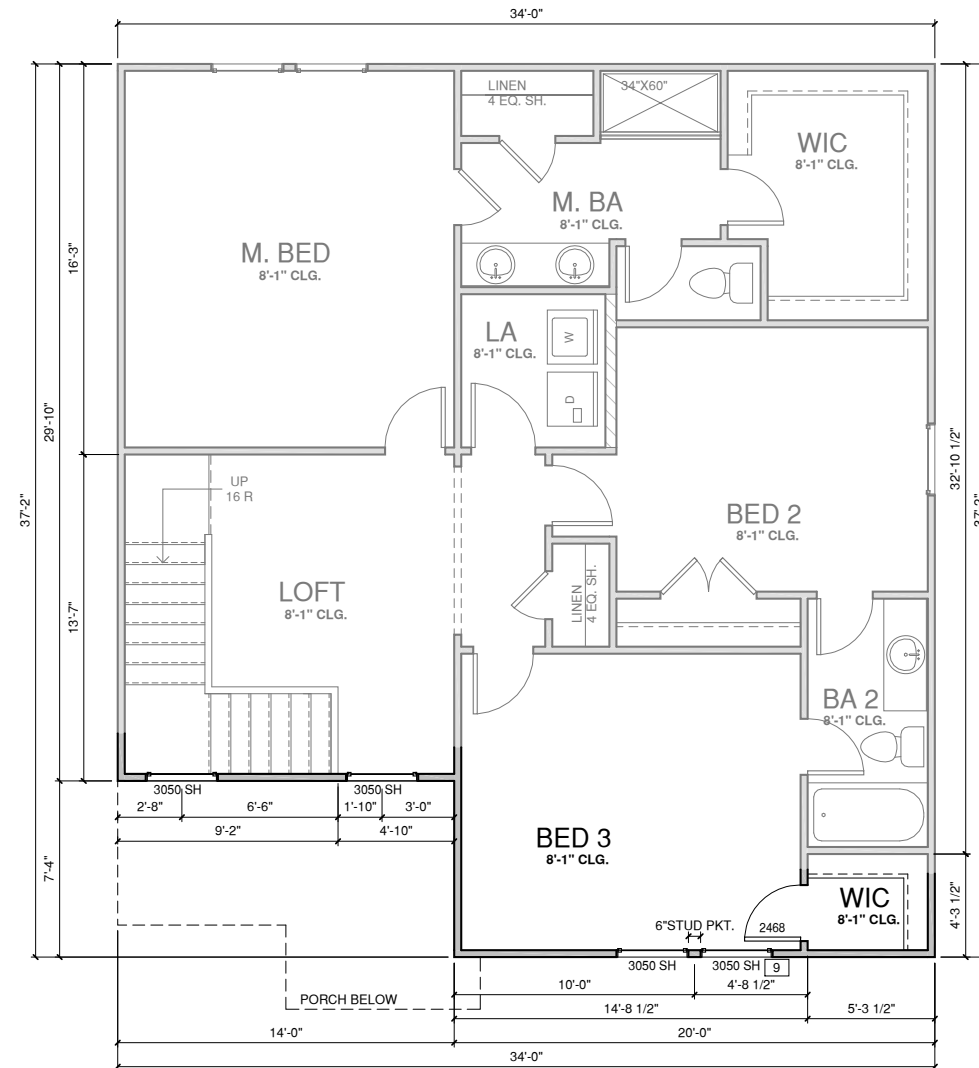
A1.3

WALL LEGEND

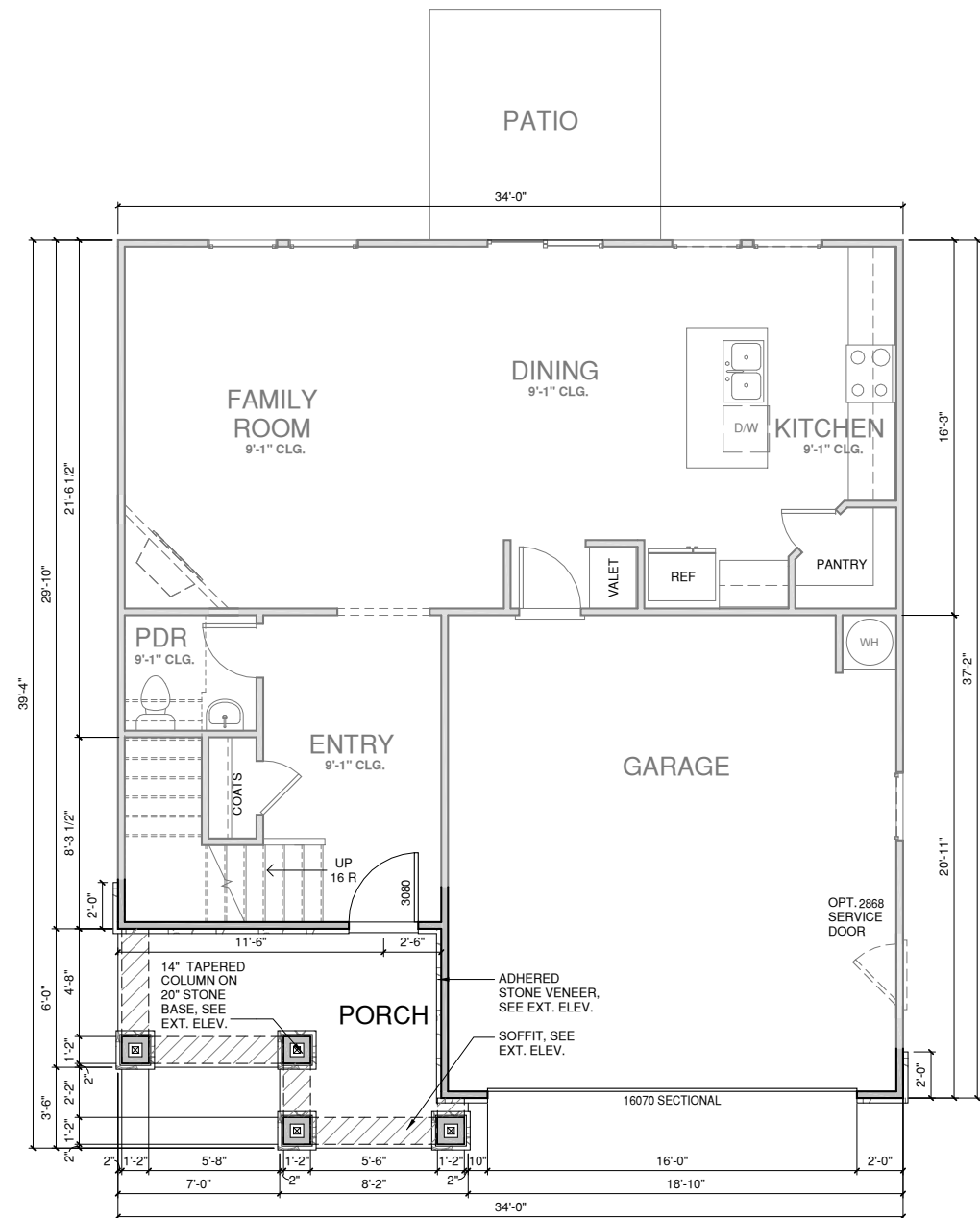
	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

FLOOR PLAN KEYNOTE LEGEND

1	HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD.
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR.
4	GAS WATER HEATER ON 18" HIGH PLATFORM.
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS.
9	TEMPERED SAFETY GLASS.
11	HALF WALL, HEIGHT AS NOTED.
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O., SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE.
14	TUB-SHOWER COMBO.
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED.
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



SECOND FLOOR ELEV '3'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



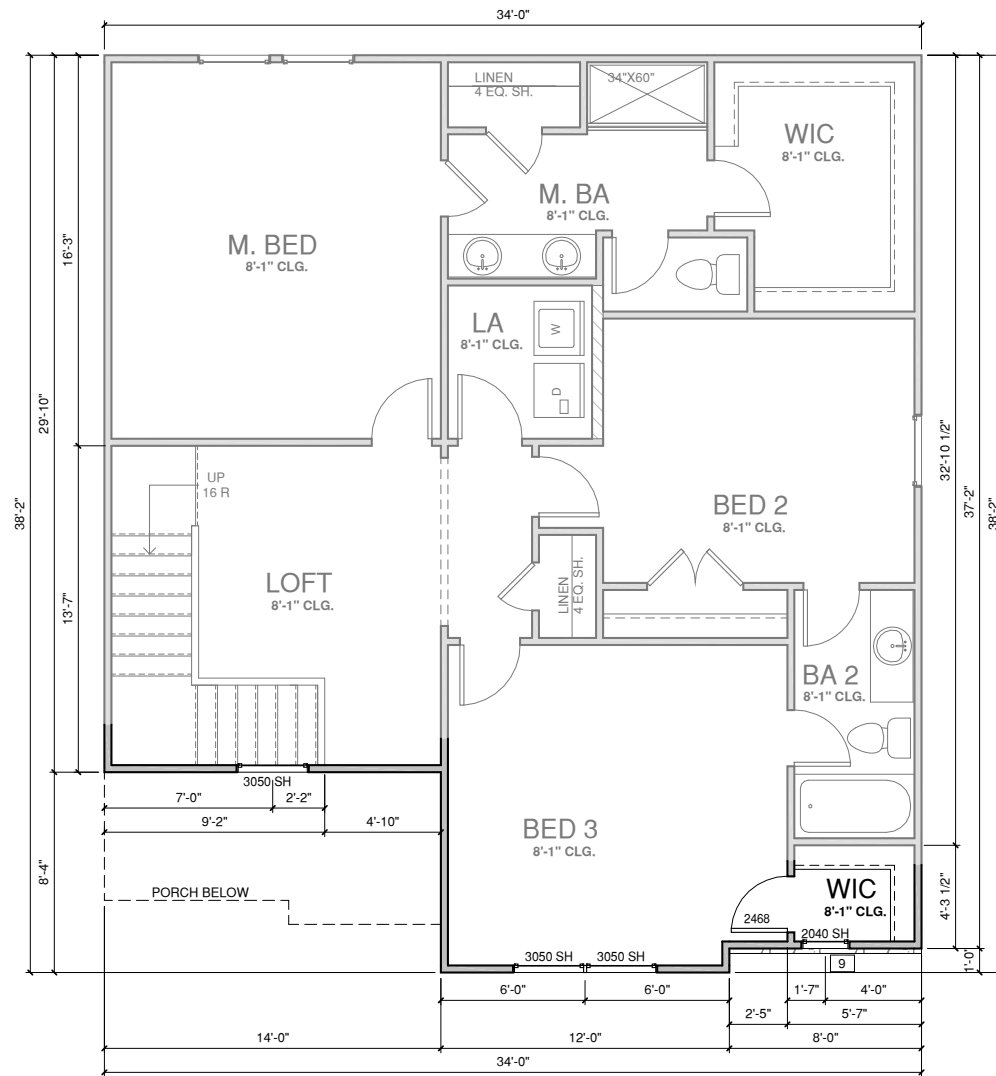
FIRST FLOOR ELEV '3'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

WALL LEGEND

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

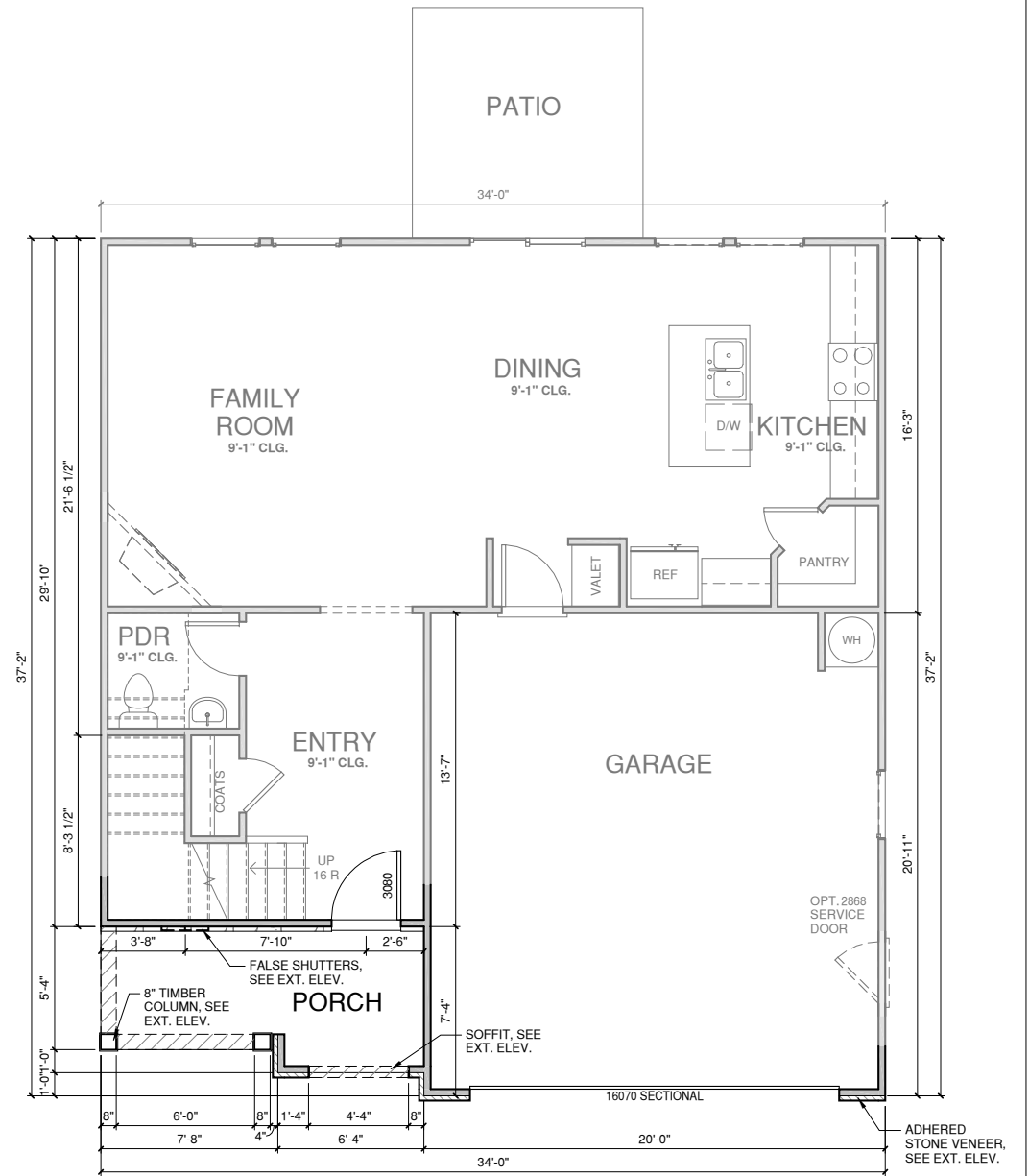
FLOOR PLAN KEYNOTE LEGEND

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14	TUB-SHOWER COMBO.
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED.
17	GAS COOKTOP AND HOOD, VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



SECOND FLOOR ELEV '4'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



FIRST FLOOR ELEV '4'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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PROFESSIONAL SEAL:

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9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

GMD16003RAL

SHEET TITLE:

FLOOR PLANS ELEV '4'

PRINT DATE:

10.19.16

SHEET NO:

A1.4

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RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

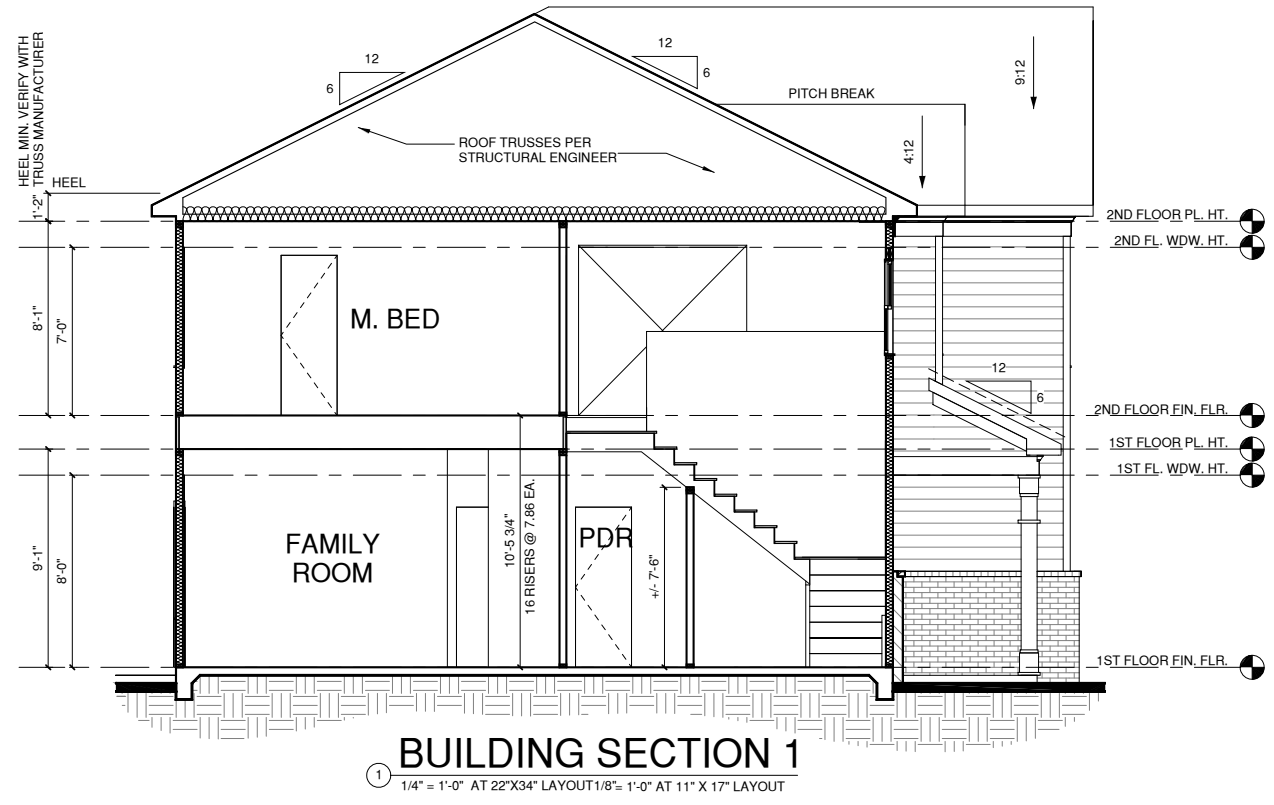
QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
SECTIONS

PRINT DATE:
10.19.16

SHEET NO:
A4.1



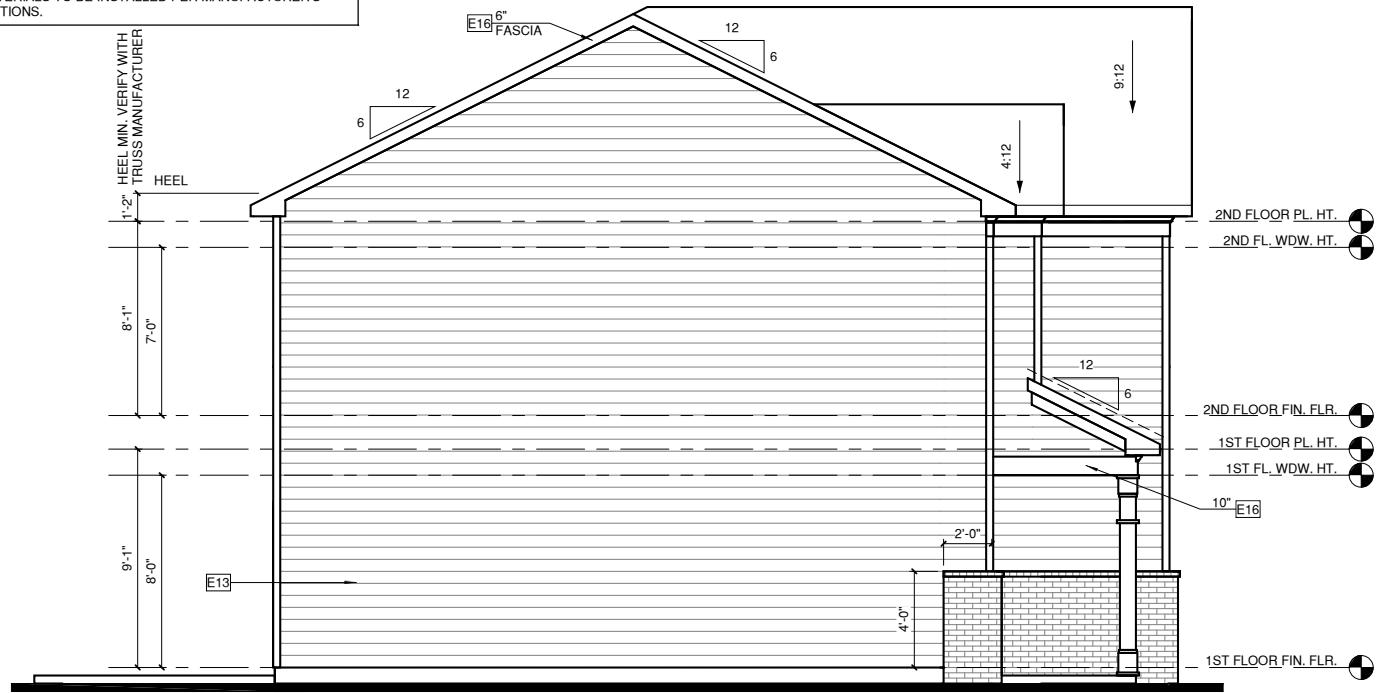
BUILDING SECTION 1
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

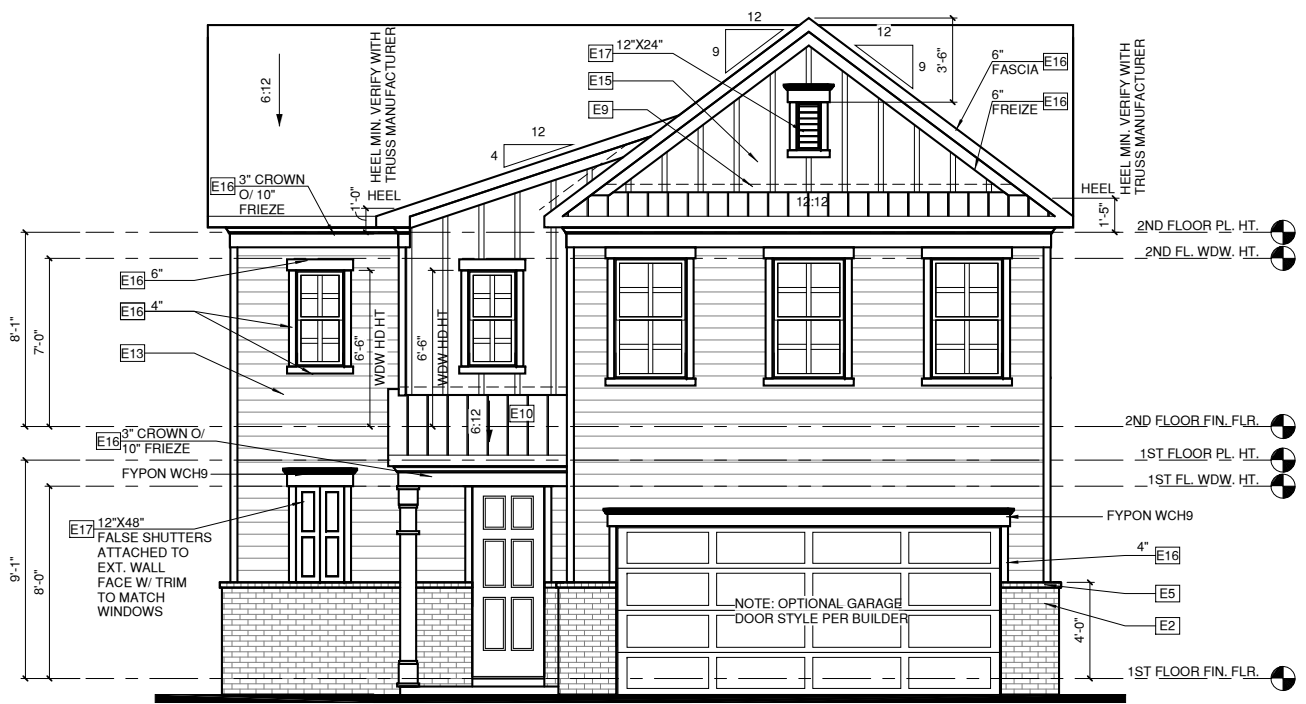
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER BUILDER.
- WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY BUILDER
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

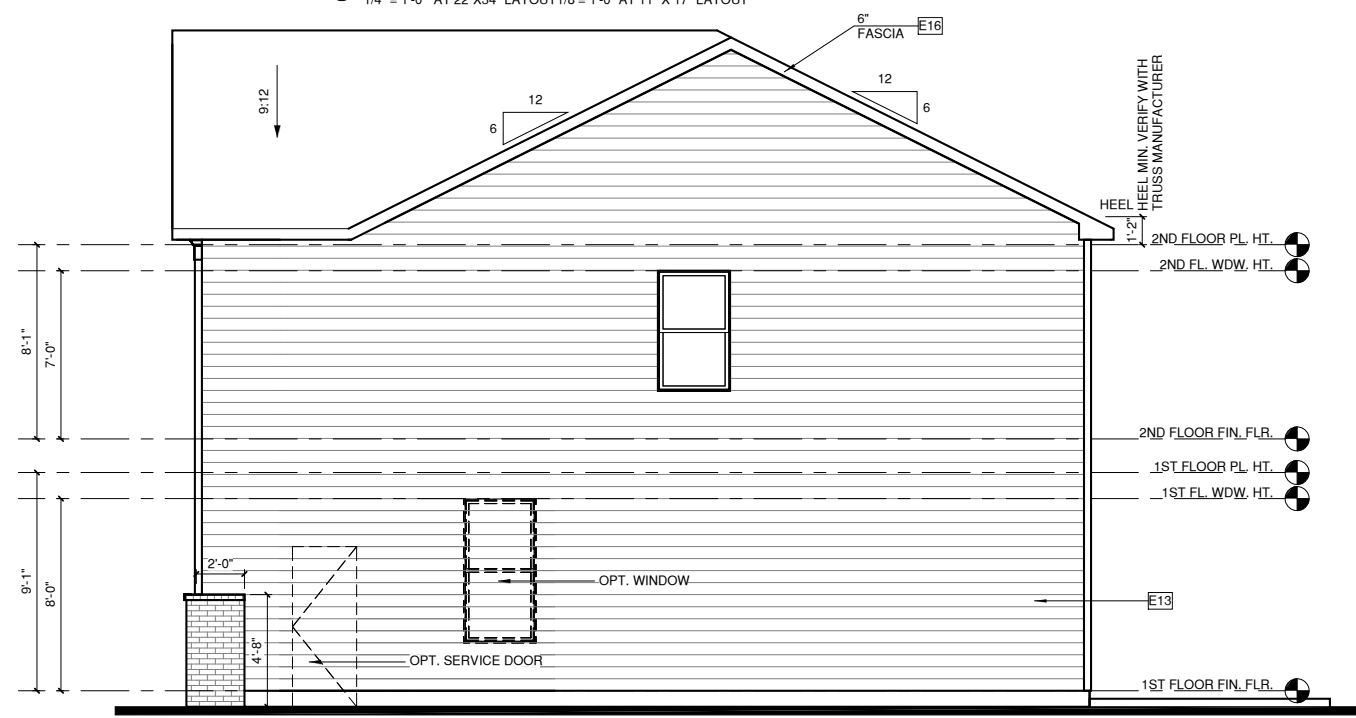
ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E2	MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E5	ROWLOCK COURSE
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E10	OPT. STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTIS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NRCR SECTION R312



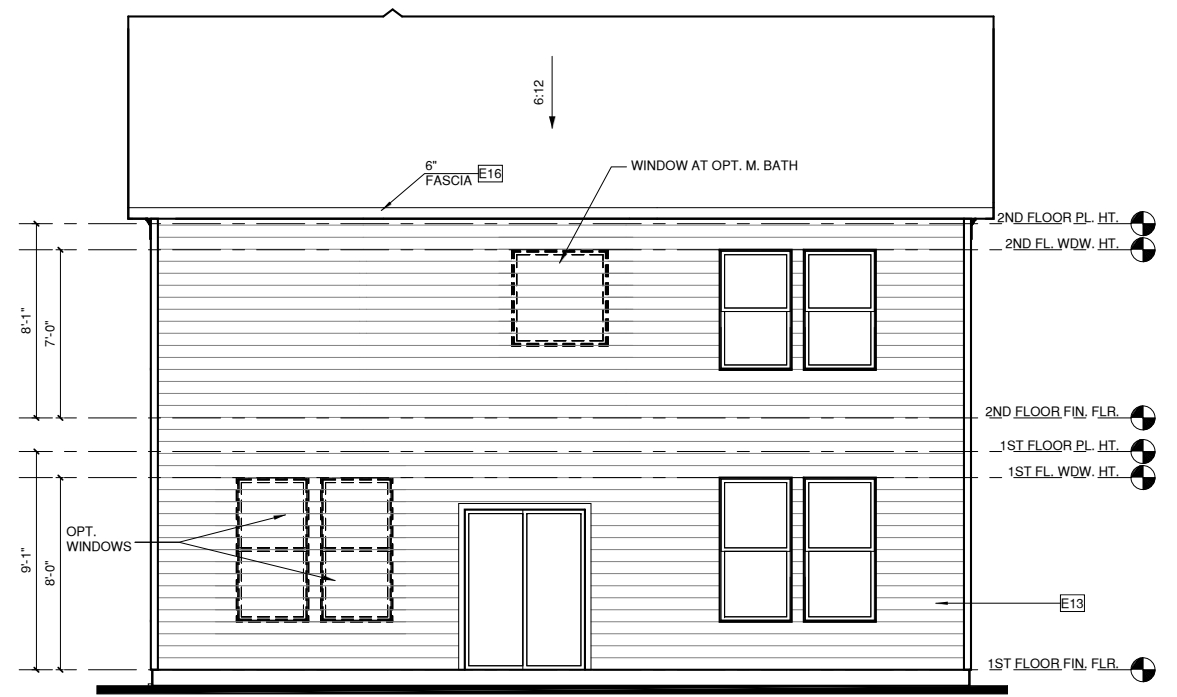
LEFT ELEVATION '1'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



FRONT ELEVATION '1'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



RIGHT ELEVATION '1'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



REAR ELEVATION '1'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
 102 FOUNTAIN BROOK CIRCLE
 SUITE C
 CARY, NC 27511
 PHONE: (919) 320-3022

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NO.	DATE	REVISION

PROFESSIONAL SEAL:

PROJECT TITLE:
 QUACKENBUSH HOMES LLC
 9220 FAIRBANKS DR SUITE 240
 RALEIGH, NC 27613
 919-741-7993

CONSTRUCTION SET

CLIENTS NAME:
 QUACKENBUSH HOMES

PROJECT NO:
 GMD16003RAL

SHEET TITLE:
ELEVATIONS '1'

PRINT DATE:
 10.19.16

SHEET NO:
A5.1

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

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-WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

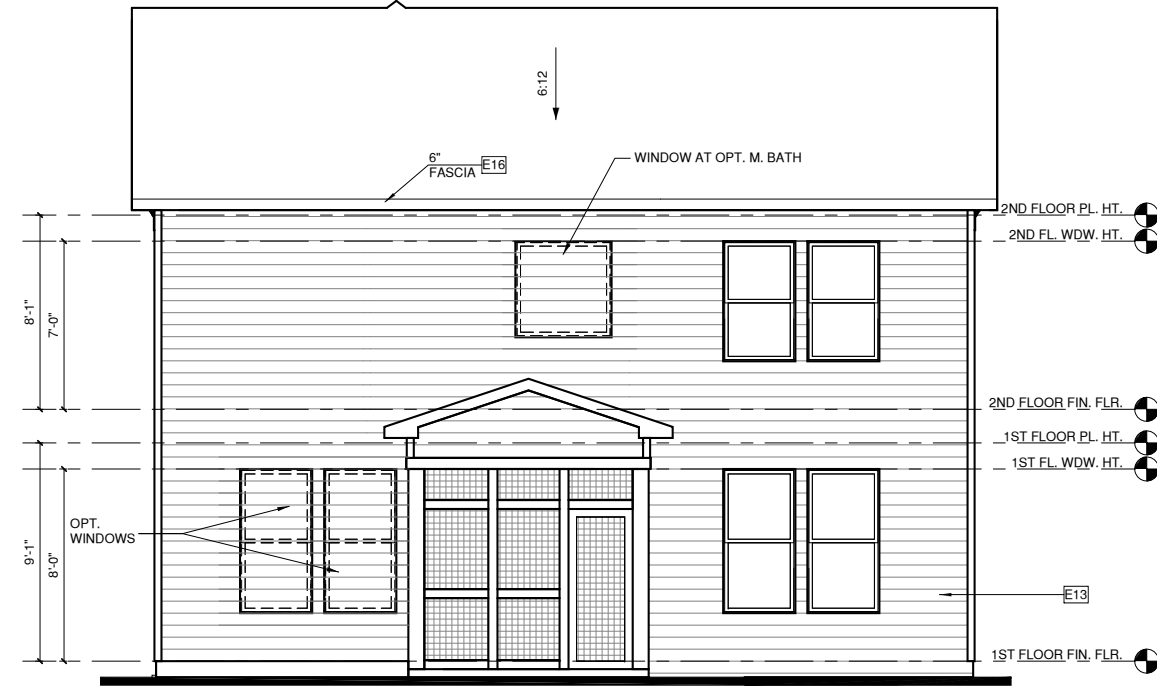
-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

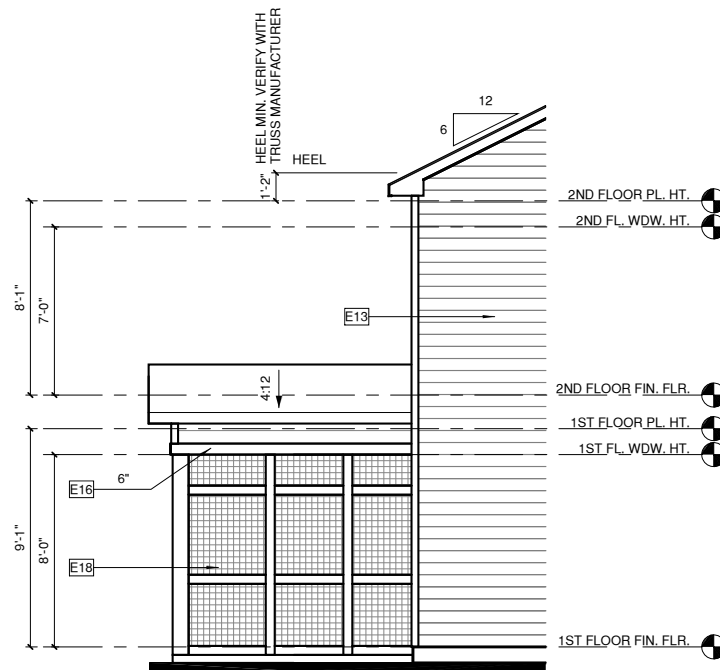
-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
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E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCRRC SECTION R312



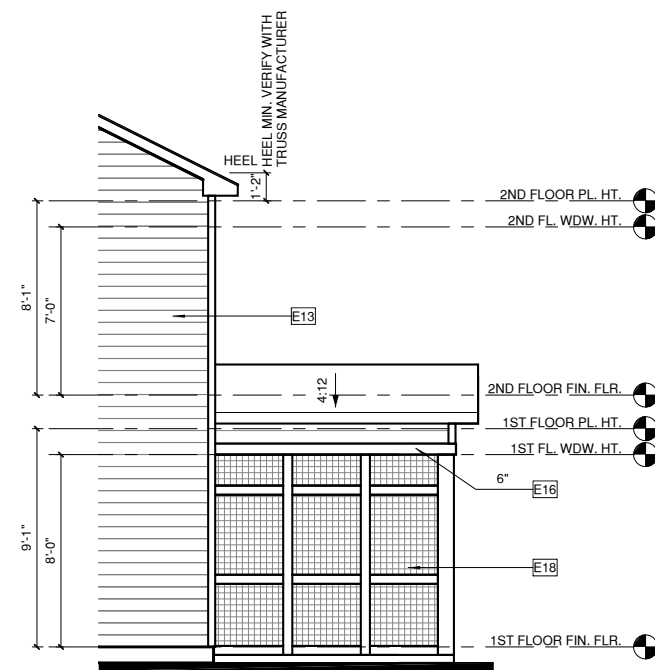
REAR ELEVATION OPT. SCREENED PORCH

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



LEFT ELEVATION OPT. SCREENED PORCH

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



RIGHT ELEVATION OPT. SCREENED PORCH

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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PROFESSIONAL SEAL:

PROJECT TITLE:

QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

GMD16003RAL

SHEET TITLE:

ELEVATION OPTIONS

PRINT DATE:

10.19.16

SHEET NO:

A5.1.1

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

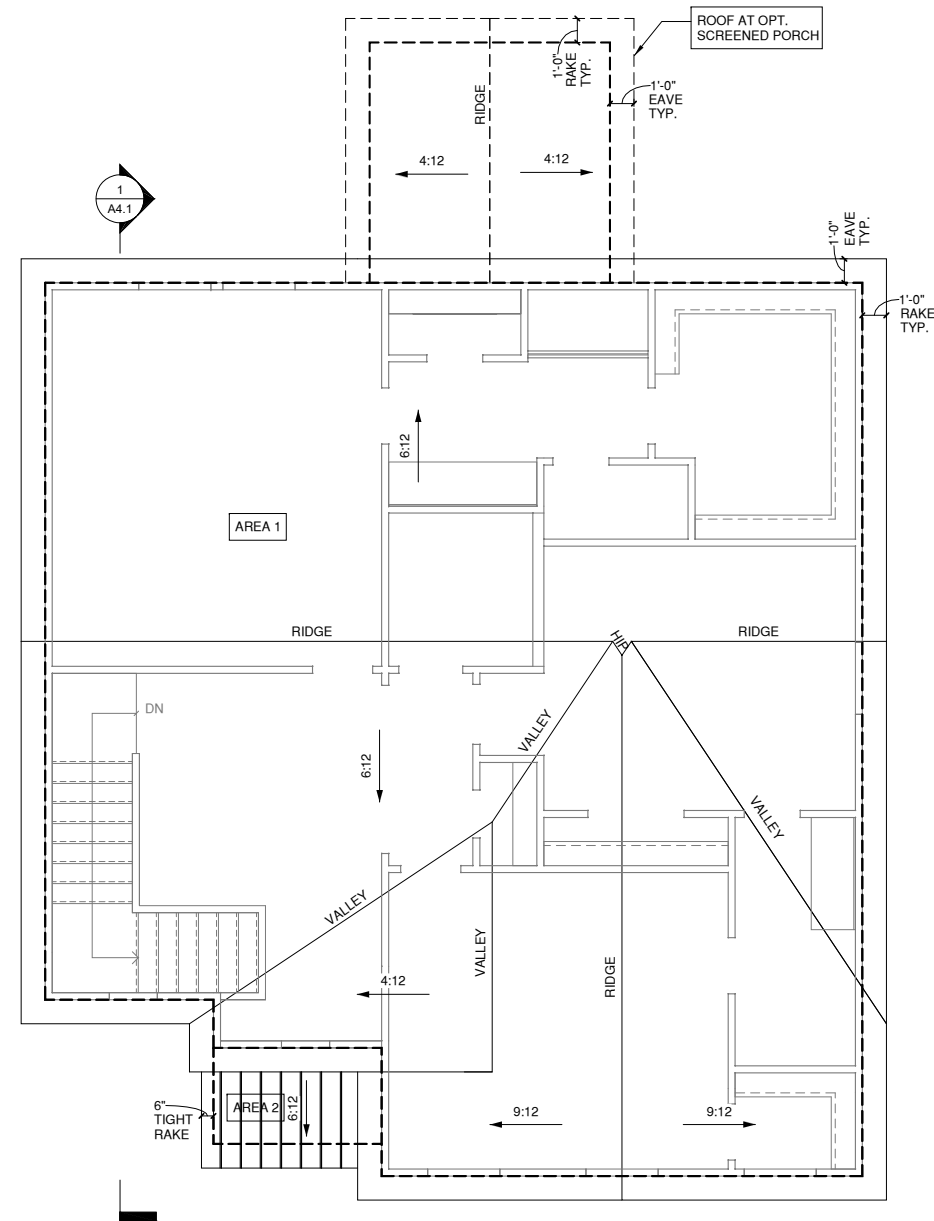
QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
ROOF PLAN '1'

PRINT DATE:
10.19.16

SHEET NO:
A5.1.2



ROOF PLAN '1'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING 1-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p>NOTES:</p> <ul style="list-style-type: none"> □ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. □ DASHED LINES INDICATE WALL BELOW. □ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER. □ PITCHED ROOFS AS NOTED. □ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS. □ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE. 	

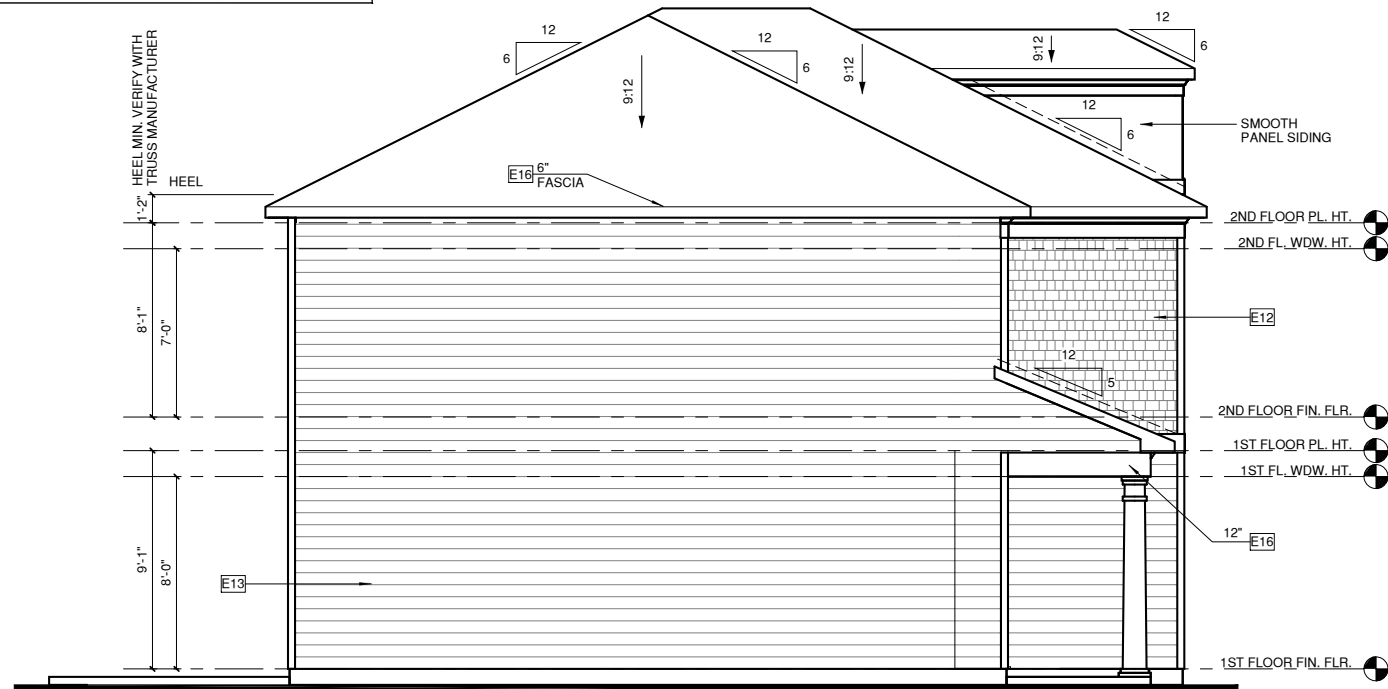
ROOF VENT CALC. ELEV. '1'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1175 SF	282.00 in ²	564.00 in ²
AREA 2	28 SF	6.72 in ²	13.44 in ²

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS
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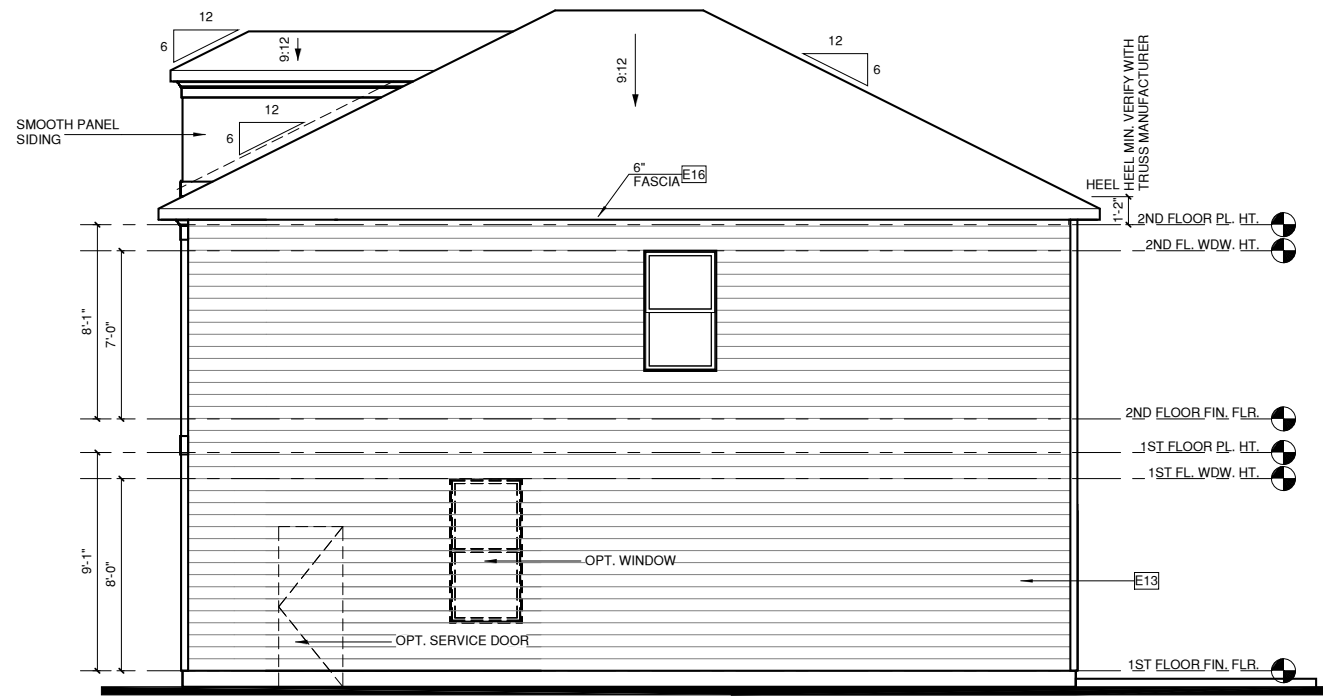
ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
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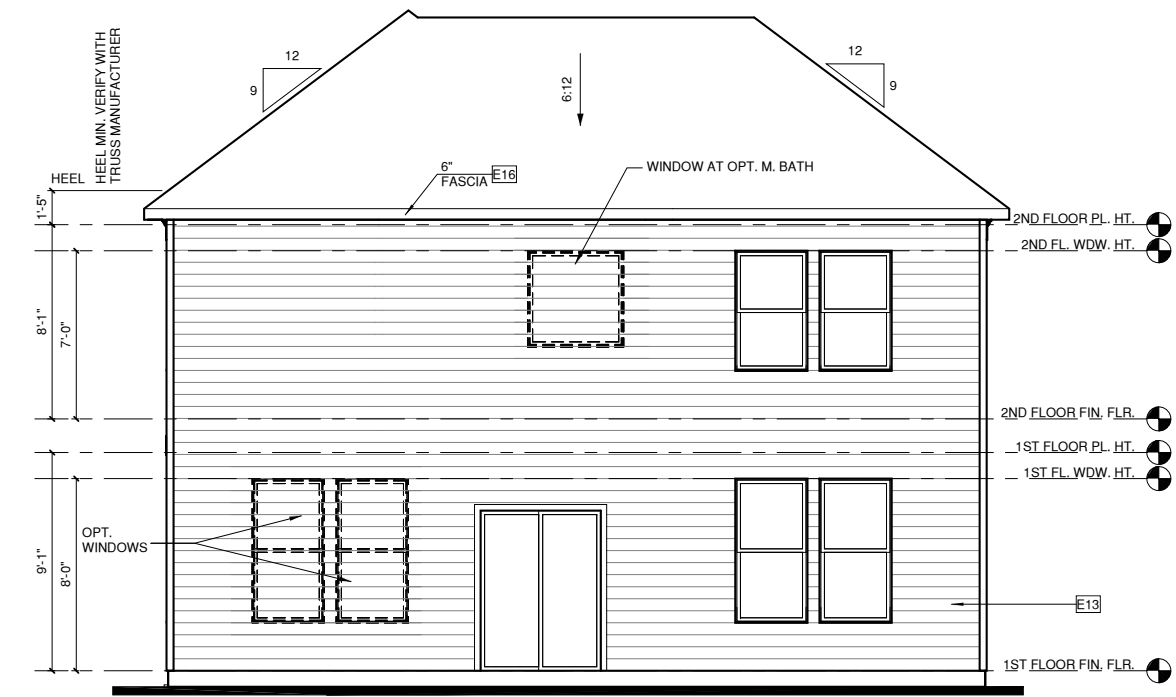
LEFT ELEVATION '2'
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



FRONT ELEVATION '2'
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



RIGHT ELEVATION '2'
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REAR ELEVATION '2'
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
102 FOUNTAIN BROOK CIRCLE
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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
ELEVATIONS '2'

PRINT DATE:
10.19.16

SHEET NO:
A5.2

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

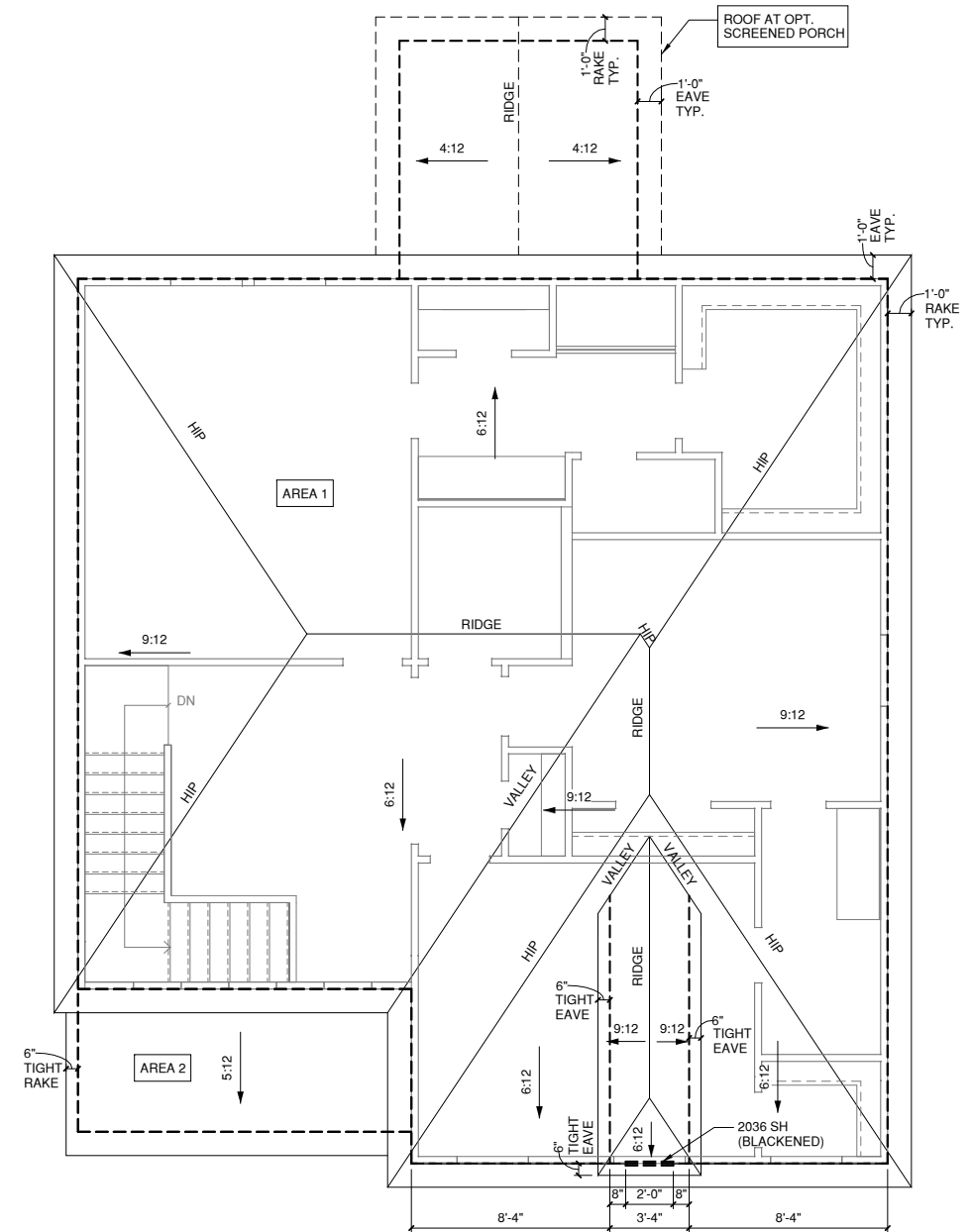
QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
ROOF PLAN '2'

PRINT DATE:
10.19.16

SHEET NO:
A5.2.1



ROOF PLAN '2'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
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ROOF VENT CALC. ELEV. '2'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1161 SF	278.64 in ²	557.28 in ²
AREA 2	84 SF	20.16 in ²	40.32 in ²

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS

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2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

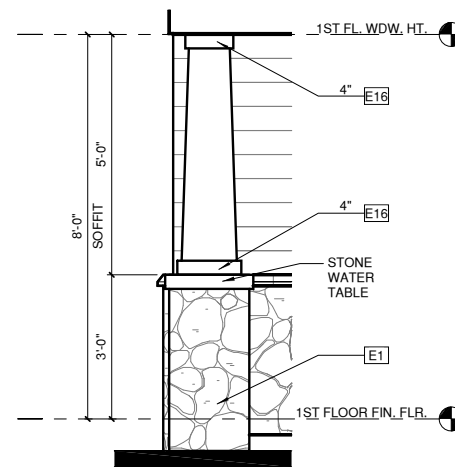
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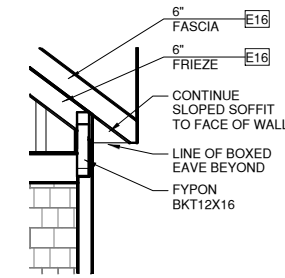
ELEVATION KEYNOTE LEGEND

E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
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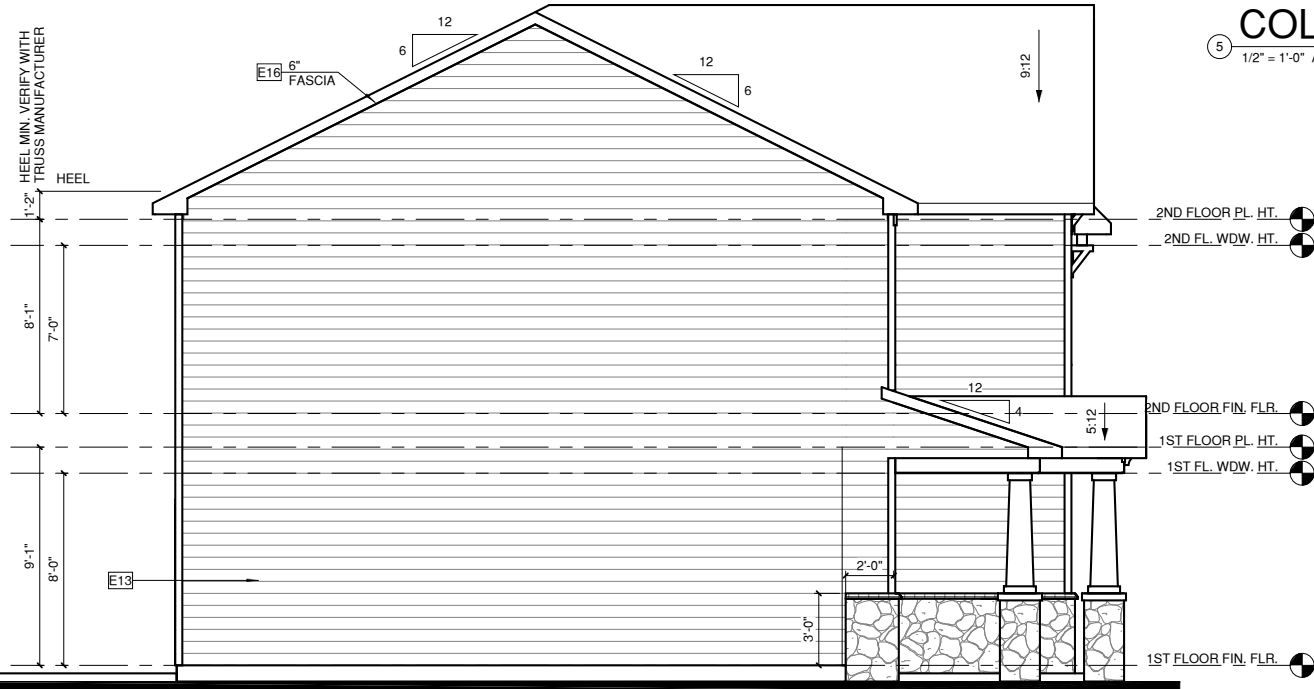
COLUMN DETAIL '3'

1/2" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



EAVE DETAIL '3'

1/2" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



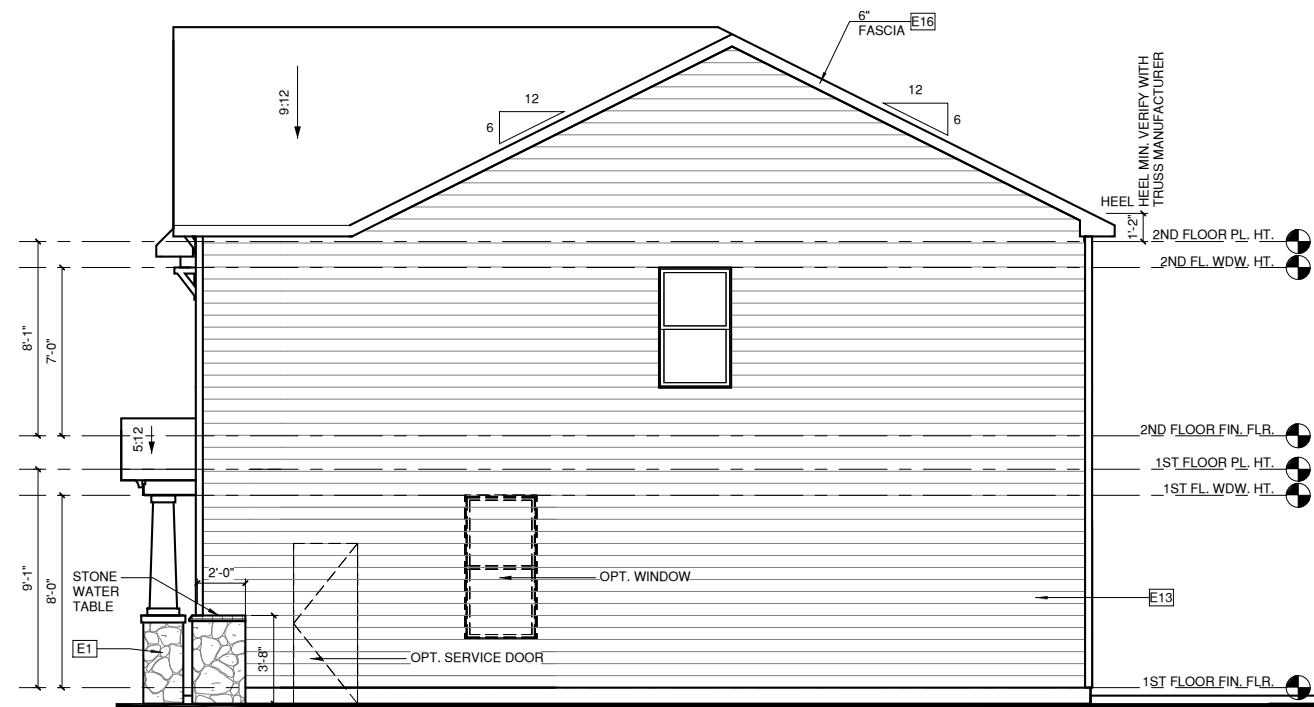
LEFT ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



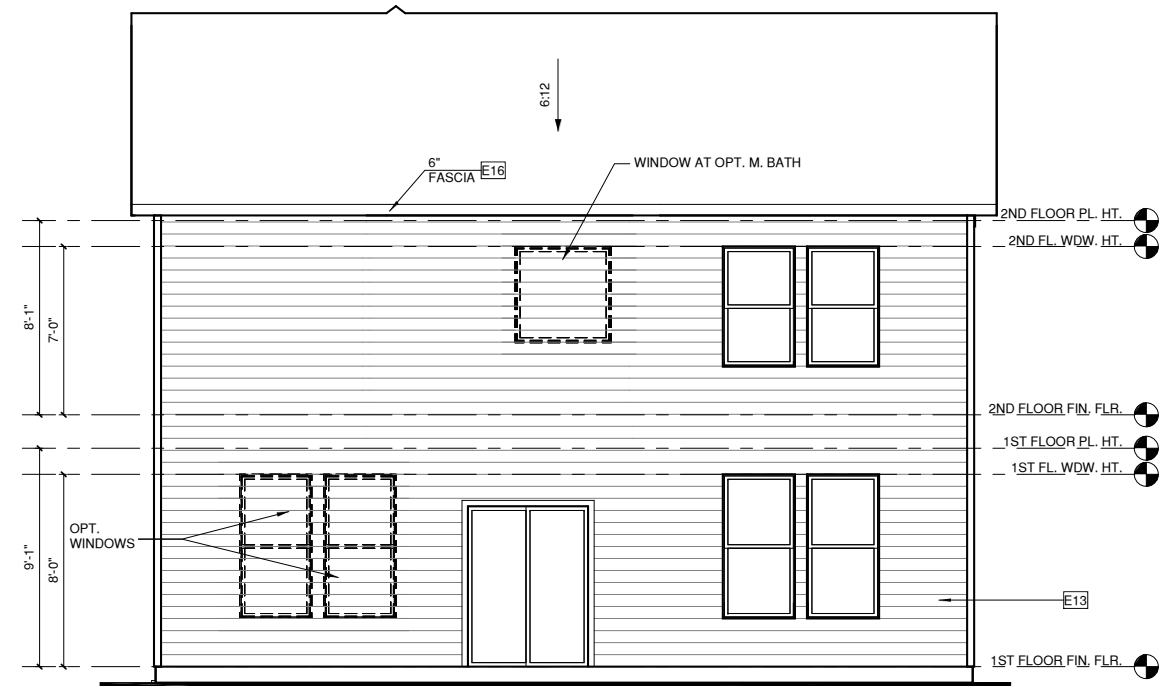
FRONT ELEVATION '3'

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RIGHT ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



REAR ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

NO:	DATE:	REVISION:

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENT'S NAME:

QUACKENBUSH HOMES

PROJECT NO:

GMD16003RAL

SHEET TITLE:

ROOF PLAN '3'

PRINT DATE:

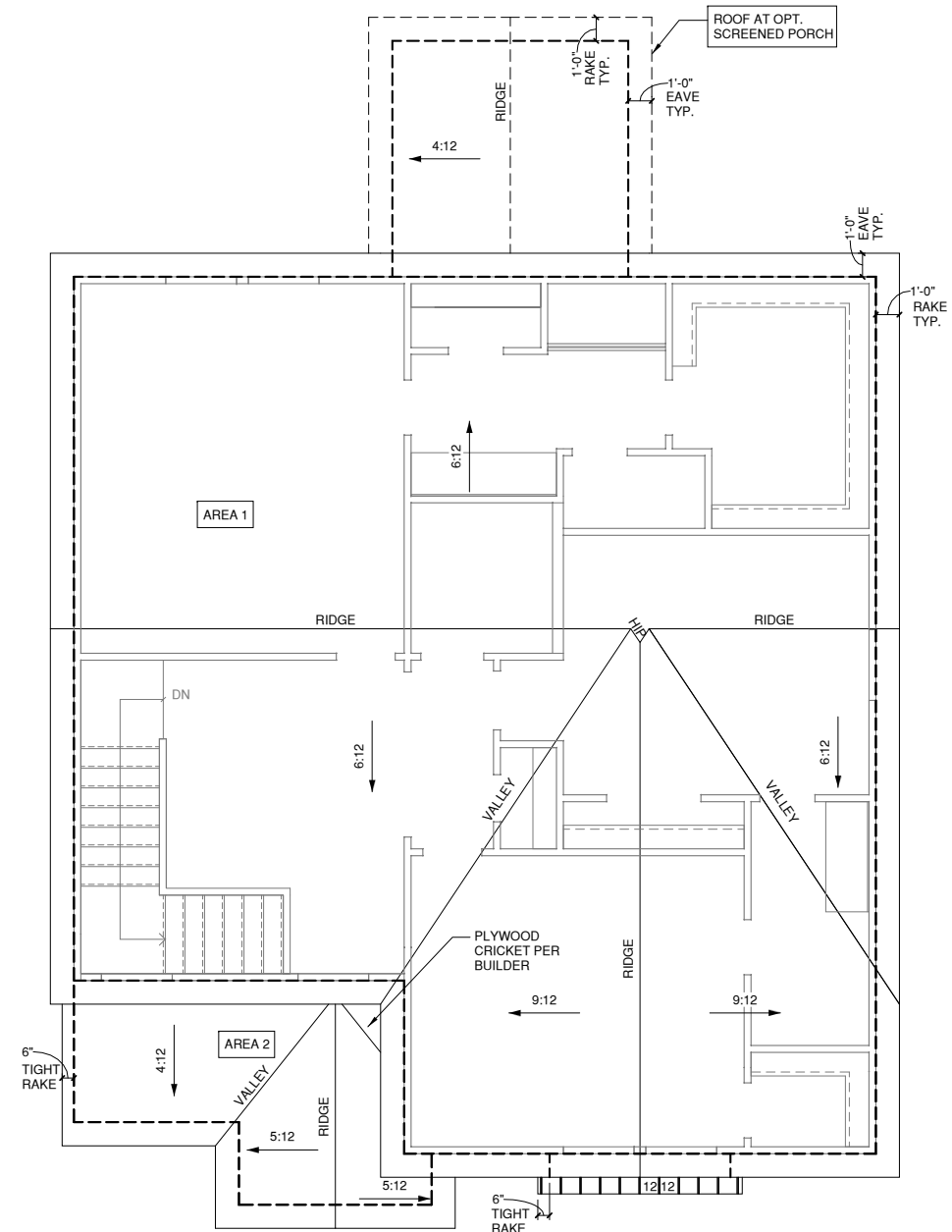
10.19.16

SHEET NO:

A5.3.1

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p>NOTES:</p> <ul style="list-style-type: none"> □ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. □ DASHED LINES INDICATE WALL BELOW. □ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER. □ PITCHED ROOFS AS NOTED. □ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS. □ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE. 	

ROOF VENT CALC. ELEV. '3'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1161 SF	278.64 in ²	557.28 in ²
AREA 2	111 SF	26.60 in ²	53.21 in ²



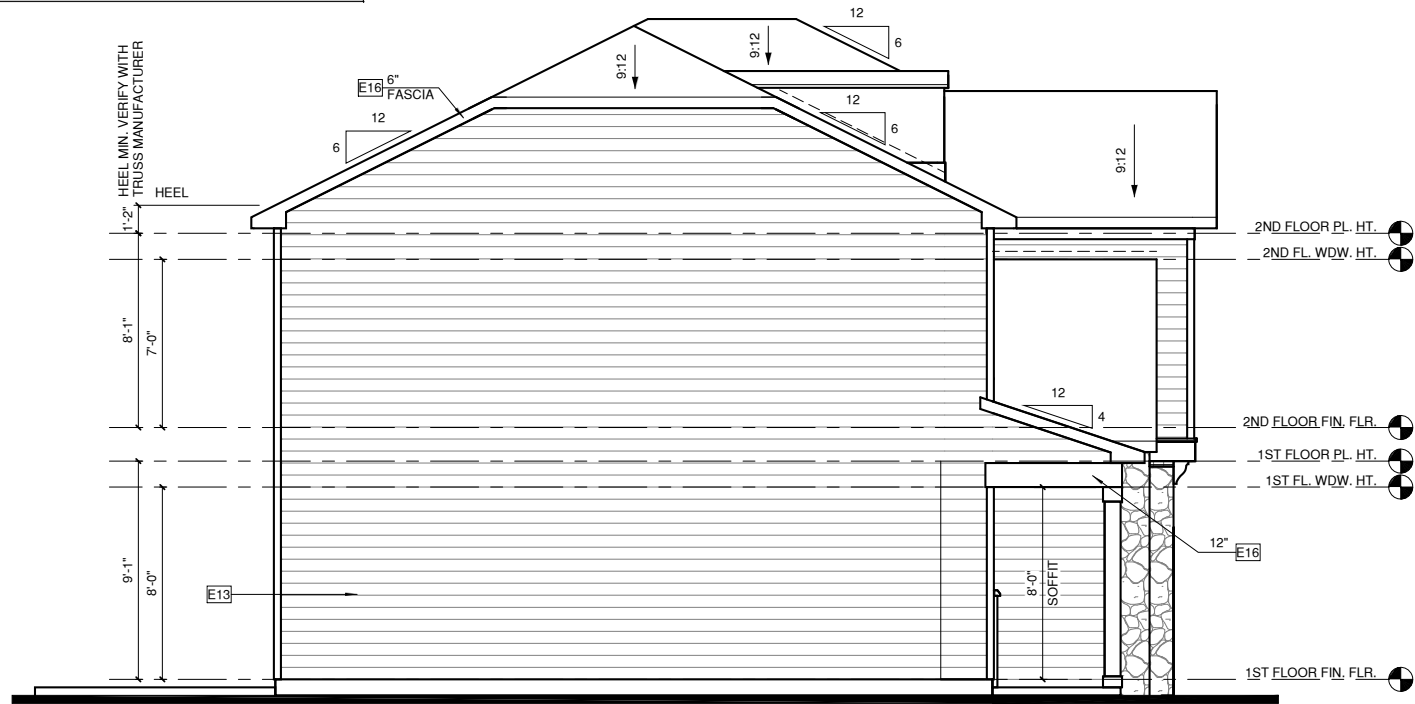
ROOF PLAN '3'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

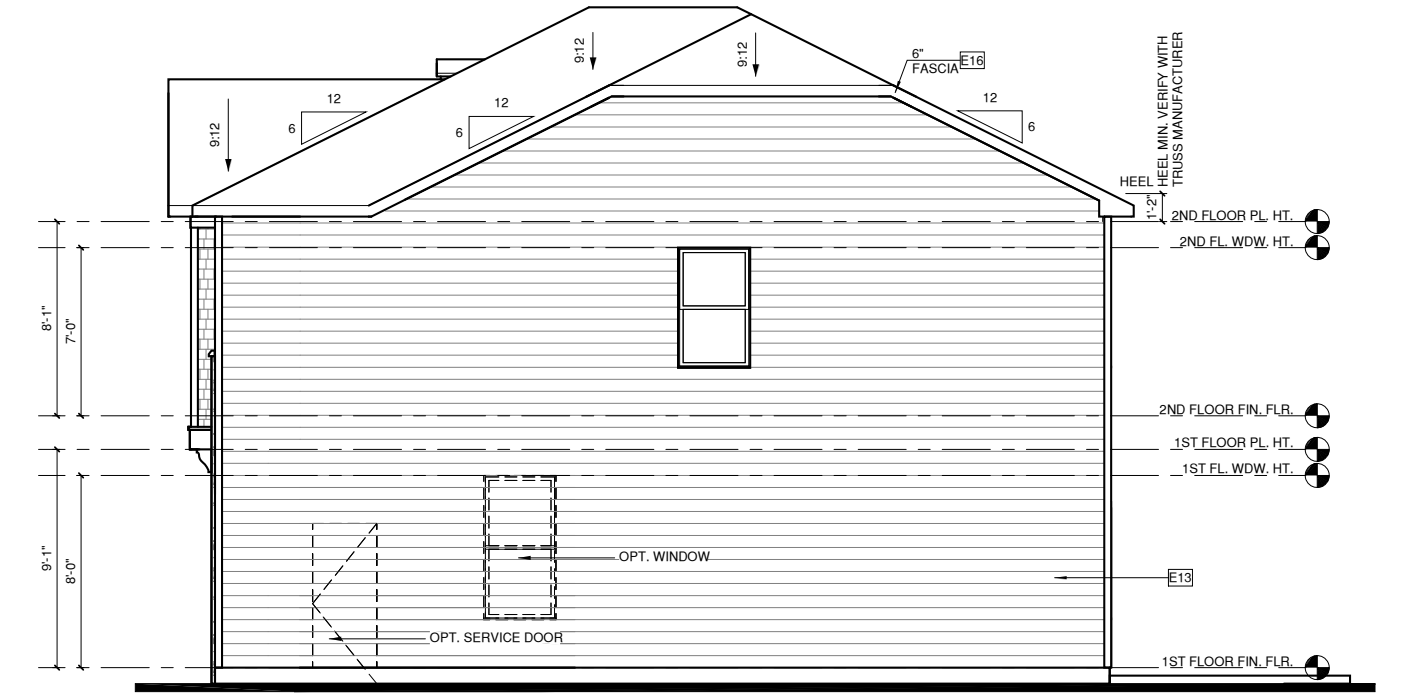
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER BUILDER.
- WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY BUILDER
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

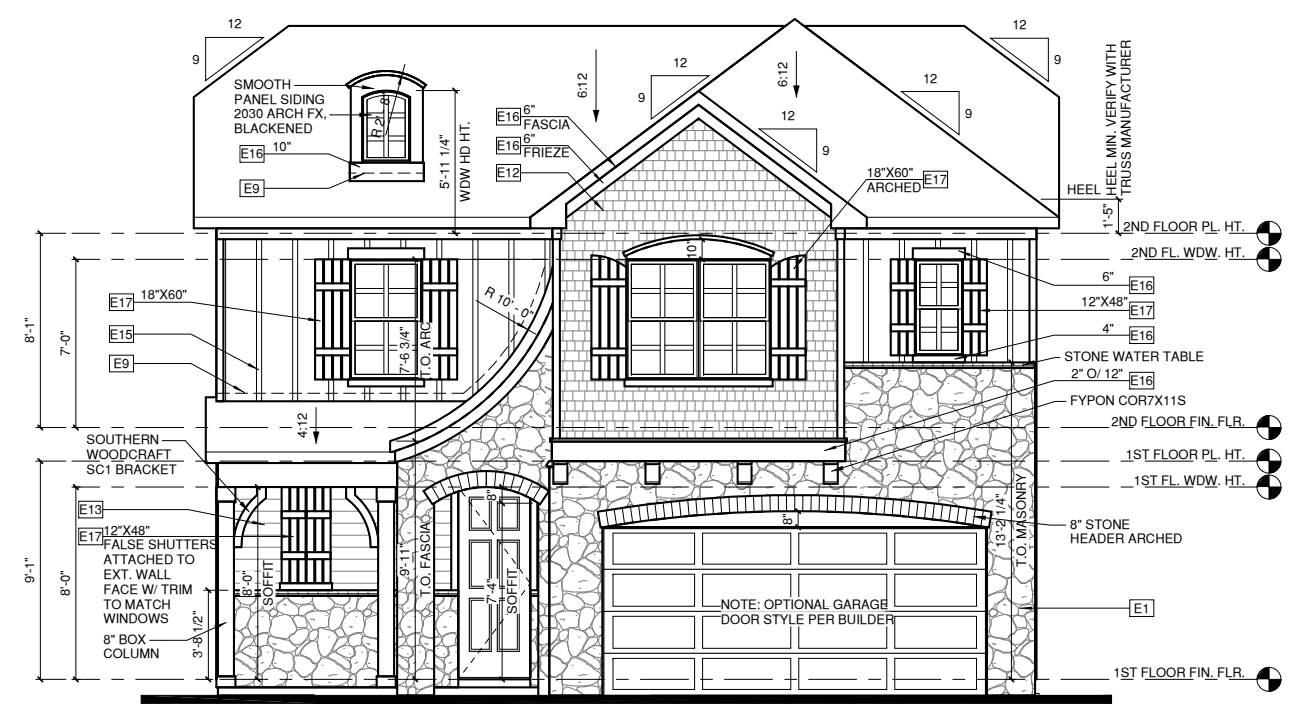
ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E2	MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E5	ROWLOCK COURSE
E9	CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E10	OPT. STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCRC SECTION R312



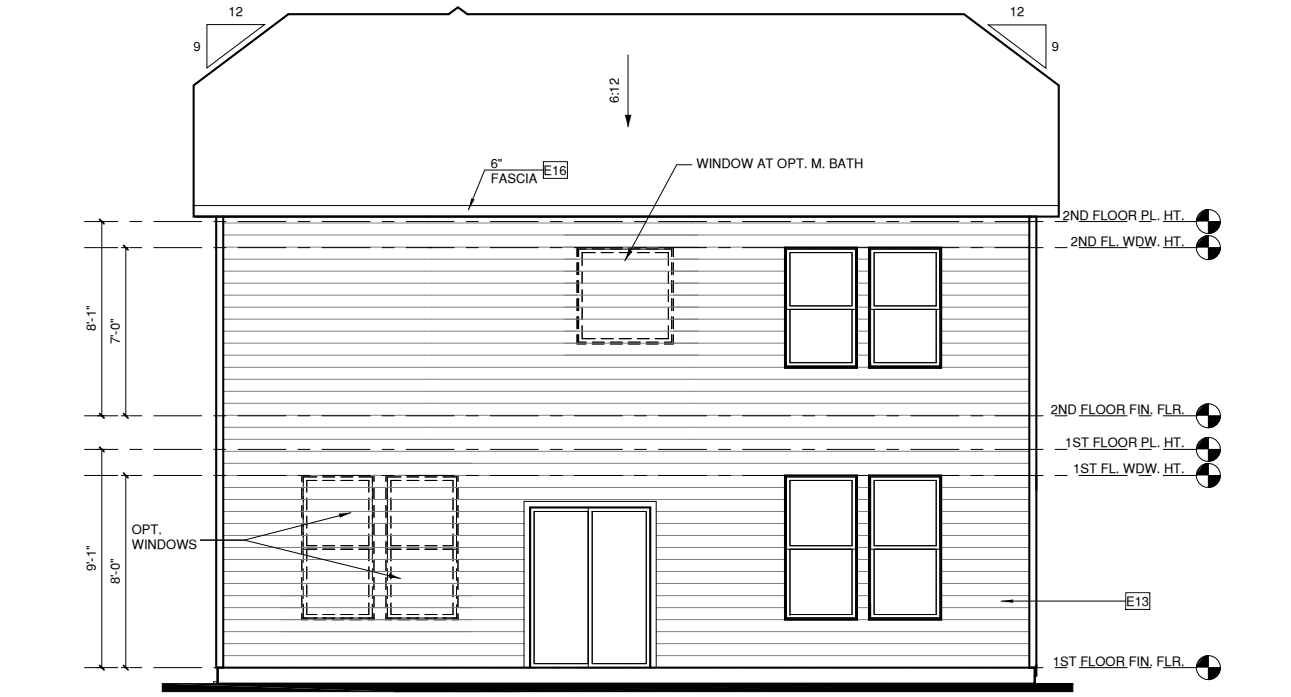
LEFT ELEVATION '4'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



RIGHT ELEVATION '4'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



FRONT ELEVATION '4'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



REAR ELEVATION '4'
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
102 FOUNTAIN BROOK CIRCLE
SUITE C
CARY, NC 27511
PHONE: (919) 320-2022

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NO.	DATE	REVISION

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
ELEVATIONS '4'

PRINT DATE:
10.19.16

SHEET NO:
A5.4

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:
QUACKENBUSH HOMES LLC
9220 FAIRBANKS DR SUITE 240
RALEIGH, NC 27613
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

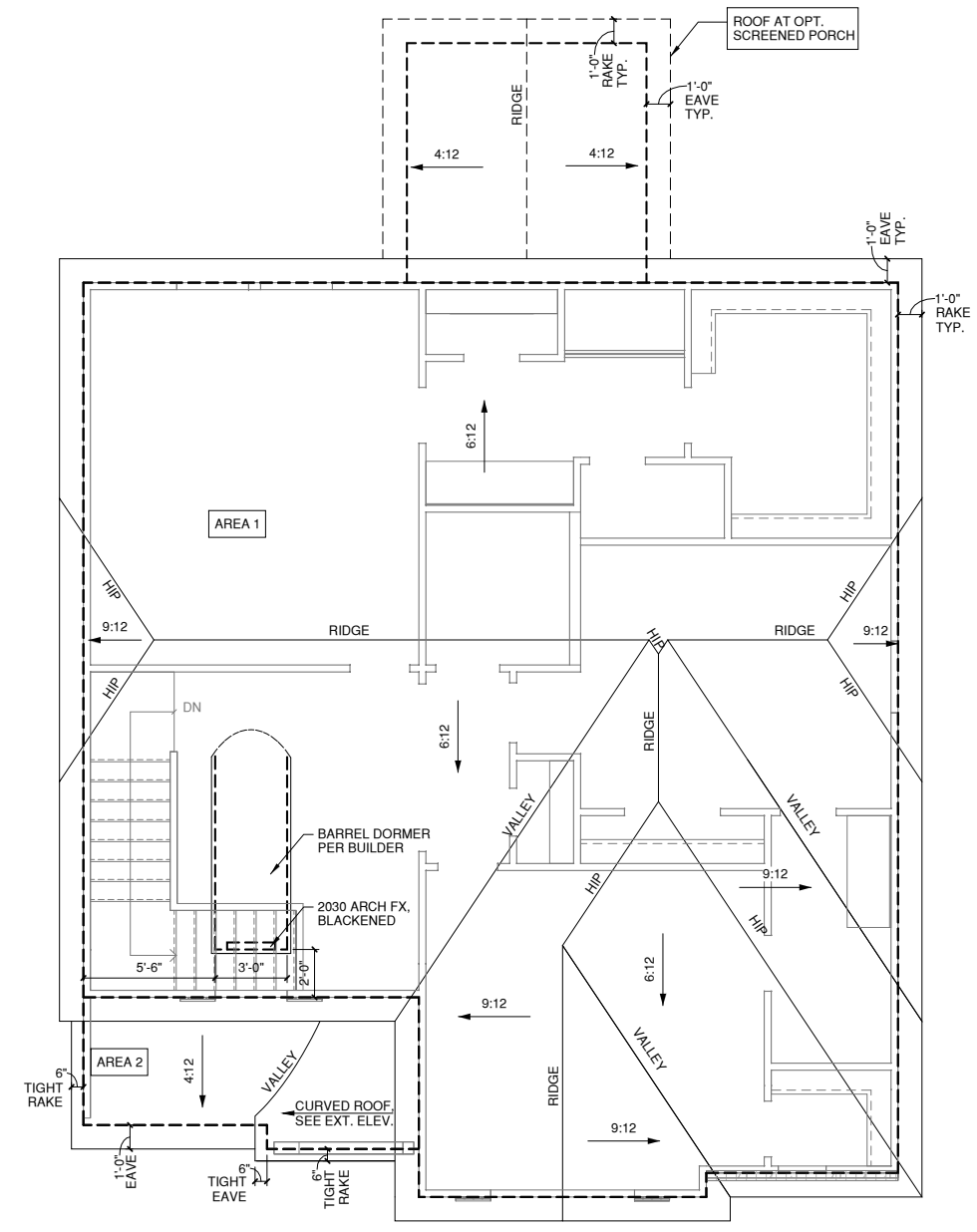
QUACKENBUSH HOMES

PROJECT NO:
GMD16003RAL

SHEET TITLE:
ROOF PLAN '4'

PRINT DATE:
10.19.16

SHEET NO:
A5.4.1

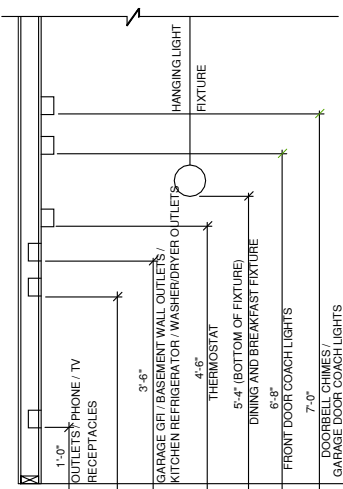


ROOF PLAN '4'

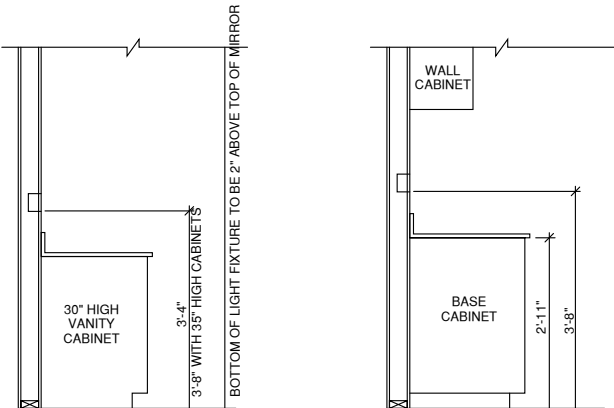
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1/150 RATIO:	1/300 RATIO:
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ROOF VENT CALC. ELEV. '4'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1173 SF	281.52 in ²	563.04 in ²
AREA 2	81 SF	19.44 in ²	38.88 in ²



STANDARD ELECTRICAL BOX HEIGHTS



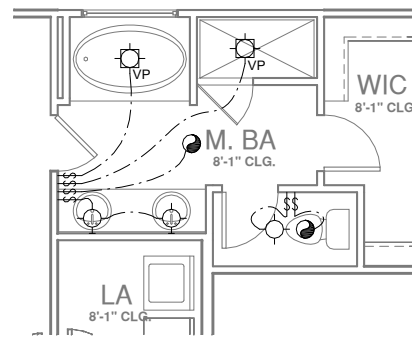
SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS **SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

NOTES:

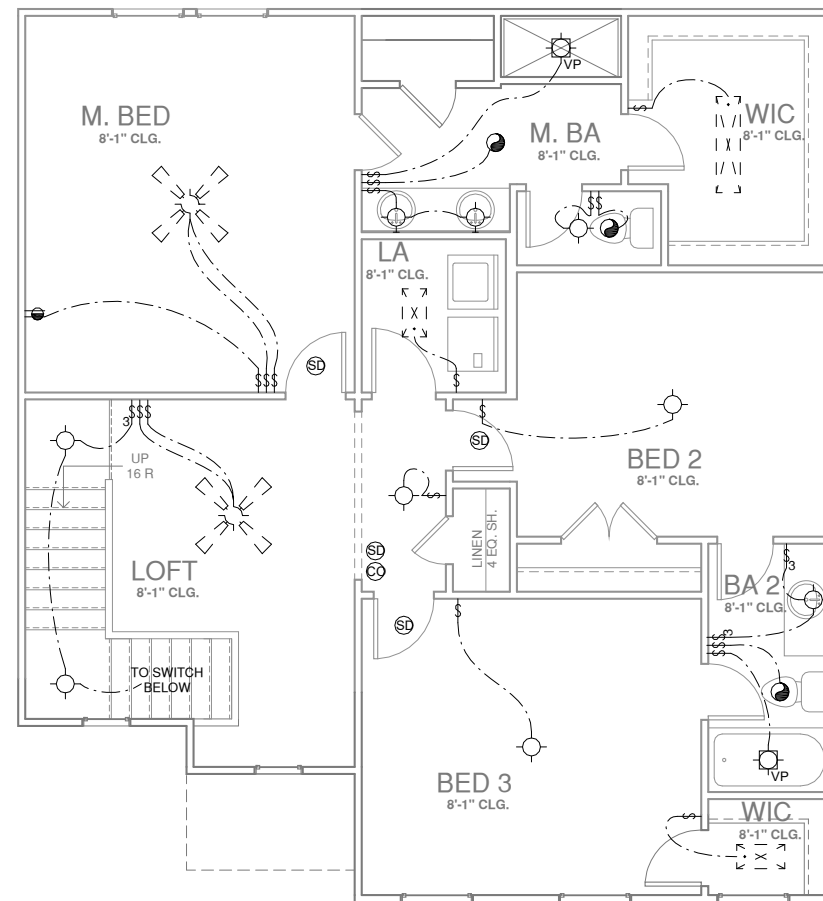
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATOIN DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

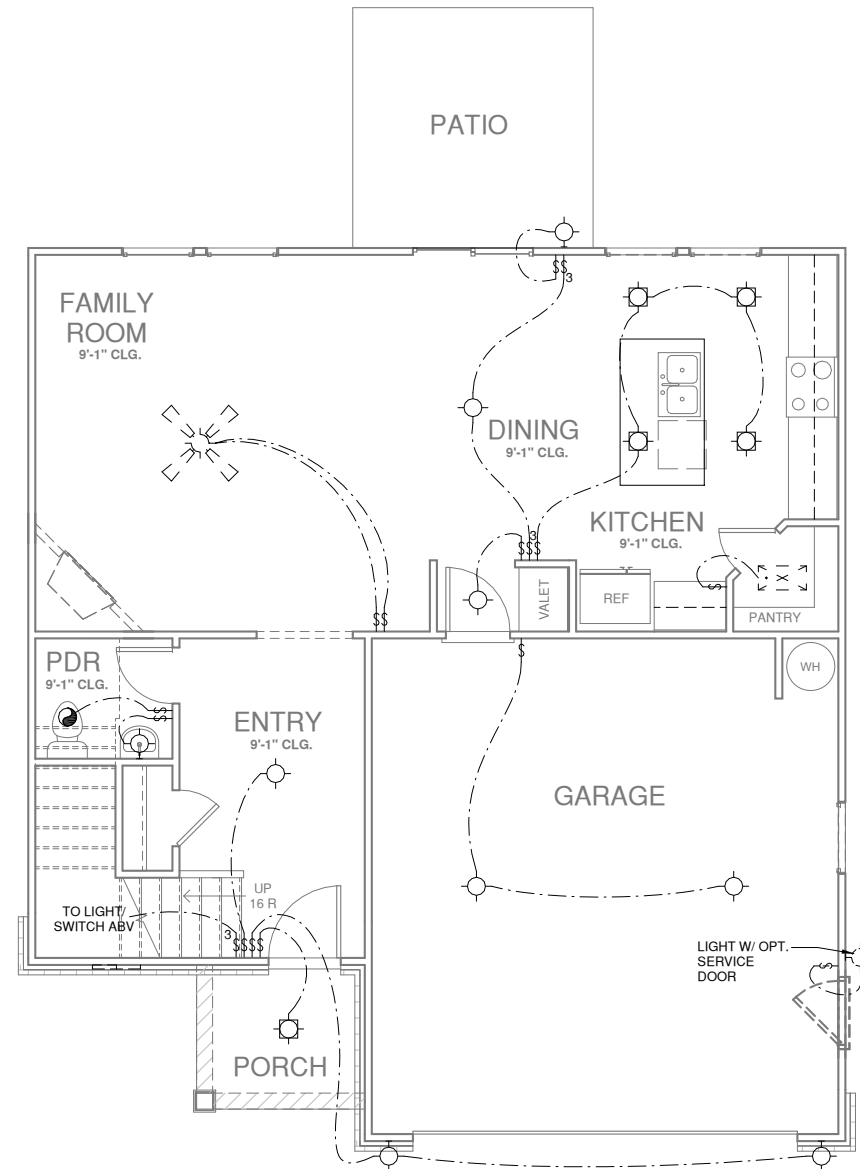
DUPLX OUTLET	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
WP/GFI WEATHERPROOF GFI DUPLX OUTLET	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
GFI GROUND-FAULT CIRCUIT-INTERRUPTER DUPLX OUTLET	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
HALF-SWITCHED DUPLX OUTLET	EXHAUST FAN (VENT TO EXTERIOR)
220V 220 VOLT OUTLET	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
REINFORCED JUNCTION BOX	FLUORESCENT LIGHT FIXTURE
WALL SWITCH	TECH HUB SYSTEM
THREE-WAY SWITCH	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
FOUR-WAY SWITCH	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
CHIMES	GAS SUPPLY WITH VALVE
PUSHBUTTON SWITCH	HOSE BIBB
110V SMOKE DETECTOR W/ BATTERY BACKUP	1/4" WATER STUB OUT
CO2 DETECTOR	WALL SCONCE
THERMOSTAT	
TELEPHONE	
TELEVISION	
ELECTRIC METER	
ELECTRIC PANEL	
DISCONNECT SWITCH	



OPT. MASTER BATH 1
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



SECOND FLOOR PLAN '1'
1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT



FIRST FLOOR PLAN '1'
1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT