

# ABBREVIATIONS INDEX

<p>ABV ABOVE A.C. AIR CONDITIONING A.D. AREA DRAIN ADJ. ADJUSTABLE ALT. ALTERNATE ALUM. ALUMINUM ARCH. ARCHITECTURAL BA. BATHROOM B.C. BENCH B.D. BIFOLD (DOOR) BLDG. BUILDING BLK. BLOCK (CMUS) BLW. BELOW BM. BEAM BP. BI-PASS (DOOR) BOT. BOTTOM BTWN. BETWEEN CAB. CABINET CER. CERAMIC C.J. CONTROL JOINT OR CONSTRUCTION JOINT CL. CLOSET OR CENTER LINE CLR. CEILING CMU. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE COR. CORROSION RESISTANT CSMT. CASEMENT C.T. CERAMIC TILE D. DRYER DL. DOUBLE DH. DOUBLE HUNG DIM. DIMENSION DISP. DISPOSAL DN. DOWN DR. DOOR DS. DOWNSPOUT DW. DISH WASHER DWG. DRAWING E. EAST EA. EACH ELEV. ELEVATION ELEC. ELECTRICAL EQ. EQUAL EXT. EXTERIOR FAU. FORCED AIR UNIT F.C. FLOOR CHANGE F.D. FLOOR DRAIN FFL. FINISH FLOOR LINE F.G. FINISHED GRADE FLR. FLOORING FL. FLOURESCENT (LIGHT) FND. FOUNDATION F.O.S. FACE OF STUD FTG. FOOTING FX. FIRED GLASS GALV. GALVANIZED GAR. GARAGE G.B. GYPSUM BOARD GD. GRADE OR GRADING G.D.O. GARAGE DOOR OPENER GFI. GROUND FAULT INTERRUPTER GL. GLASS OR GLAZING GYP. GYPSUM BOARD HB. HOSE BIBB HD. HEAD OR HARD HDR. HEADER HGT. HEIGHT HVAC. HEATING/VENTILATING/AIR COND. HWD. HARDWOOD INT. INTERIOR JST. JOIST JT. JOINT KIT. KITCHEN</p>	<p>L. LENGTH LA. LAUNDRY LAV. LAVATORY LVR. LOUVER MAX. MAXIMUM MECH. MECHANICAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS N. NORTH N.T.S. NOT TO SCALE O.G.D. OVERHEAD GARAGE DOOR OH. OVERHEAD OP. OPTIONAL PAR. PARALLEL P.B. PUSH BUTTON PDR. POWDER PED. PEDESTAL PL. PLATE PR. PAIR P.T. PRESSURE TREATED WOOD PVC. POLYVINYL CHLORIDE PIPE P.V.M. PAYMENT P.W. PRE-WIRE P.W.D. PLYWOOD RAG. RETURN AIR GRILL REF. REFERENCE REFR. REFRIGERATOR REQ. REQUIRED S. SOUTH S.D. SMOKE DETECTOR S.G.D. SLIDING GLASS DOOR SH. SINGLE HUNG OR SHELF SIM. SIMILAR S.P. SLOPE / SLIDING S.P.F. SLOPE / POSE SPEC. SPECIFICATIONS STD. STANDARD STR. STRUCTURAL SQ. SQUARE SYM. SYMBOL S.S. SMOOTH FOUR SIDES T. TREAD (AT STAIRS) OR TILE T.B. TOWEL BAR TEMP. TEMPERED (GLASS) T&amp;G. TONGUE &amp; GROOVE T.O.C. TOP OF CURB TV. TELEVISION TYP. TYPICAL U.N.O. UNLESS NOTED OTHERWISE V.B. VAPOR BARRIER VERT. VERTICAL V.T.R. VENT THRU ROOF W. WASHING MACHINE WJ. WOOD WDW. WINDOW WH. WATER HEATER WI. WROUGHT IRON WIC. WALK-IN CLOSET W.WO. WITH OR WITHOUT WP. WATERPROOFING WWM. WELDED WIRE MESH R. PROPERTY LINE Ø. ROUND / DIAMETER &amp; ANG. Q. CENTERLINE # POUND / NUMBER</p>	<p>A0.1.1 SLAB ELEV '1' A0.1.2 SLAB ELEV '2' A0.1.3 SLAB ELEV '3' A0.1.4 SLAB ELEV '4' A0.2.1 STEMWALL ELEV '1' A0.2.2 STEMWALL ELEV '2' A0.2.3 STEMWALL ELEV '3' A0.2.4 STEMWALL ELEV '4' A0.3.1 CRAWL SPACE ELEV '1' A0.3.2 CRAWL SPACE ELEV '2' A0.3.3 CRAWL SPACE ELEV '3' A0.3.4 CRAWL SPACE ELEV '4' A1.1 FLOOR PLANS ELEV '1' A1.2 FLOOR PLANS ELEV '2' A1.3 FLOOR PLANS ELEV '3' A1.4 FLOOR PLANS ELEV '4' A4.1 SECTIONS A5.1 ELEVATIONS '1' A5.1.1 ELEVATION OPTIONS A5.1.2 ROOF PLAN '1' A5.2 ELEVATIONS '2' A5.2.1 ROOF PLAN '2' A5.3 ELEVATIONS '3' A5.3.1 ROOF PLAN '3' A5.4 ELEVATIONS '4' A5.4.1 ROOF PLAN '4' E1.0 UTILITY PLANS</p>
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## BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:  
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.  
2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:  
SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION  
RESIDENTIAL R-3

CONSTRUCTION TYPE:  
TYPE V8 (2 HOUR DWELLING SEPARATION BETWEEN UNITS.)

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

## GENERAL NOTES:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES.)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NCRC SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.

## BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY; WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

ELEV. '1' AREA		ELEV. '2' AREA		ELEV. '3' AREA		ELEV. '4' AREA	
Name	Area	Name	Area	Name	Area	Name	Area
FIRST FLOOR	1143 SF	FIRST FLOOR	1145 SF	FIRST FLOOR	1145 SF	FIRST FLOOR	1145 SF
SECOND FLOOR	828 SF	SECOND FLOOR	787 SF	SECOND FLOOR	787 SF	SECOND FLOOR	802 SF
HEATED	1971 SF	HEATED	1932 SF	HEATED	1932 SF	HEATED	1946 SF
GARAGE	387 SF	GARAGE	385 SF	GARAGE	385 SF	GARAGE	385 SF
PORCH	90 SF	PORCH	90 SF	PORCH	90 SF	PORCH	90 SF
UNHEATED	477 SF	UNHEATED	475 SF	UNHEATED	475 SF	UNHEATED	475 SF



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NO.	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:  
  
QUACKENBUSH HOMES

PROJECT NO. JACKSON

SHEET TITLE:  
**COVER SHEET**

PRINT DATE:  
01.03.17

SHEET NO:  
**T-1**

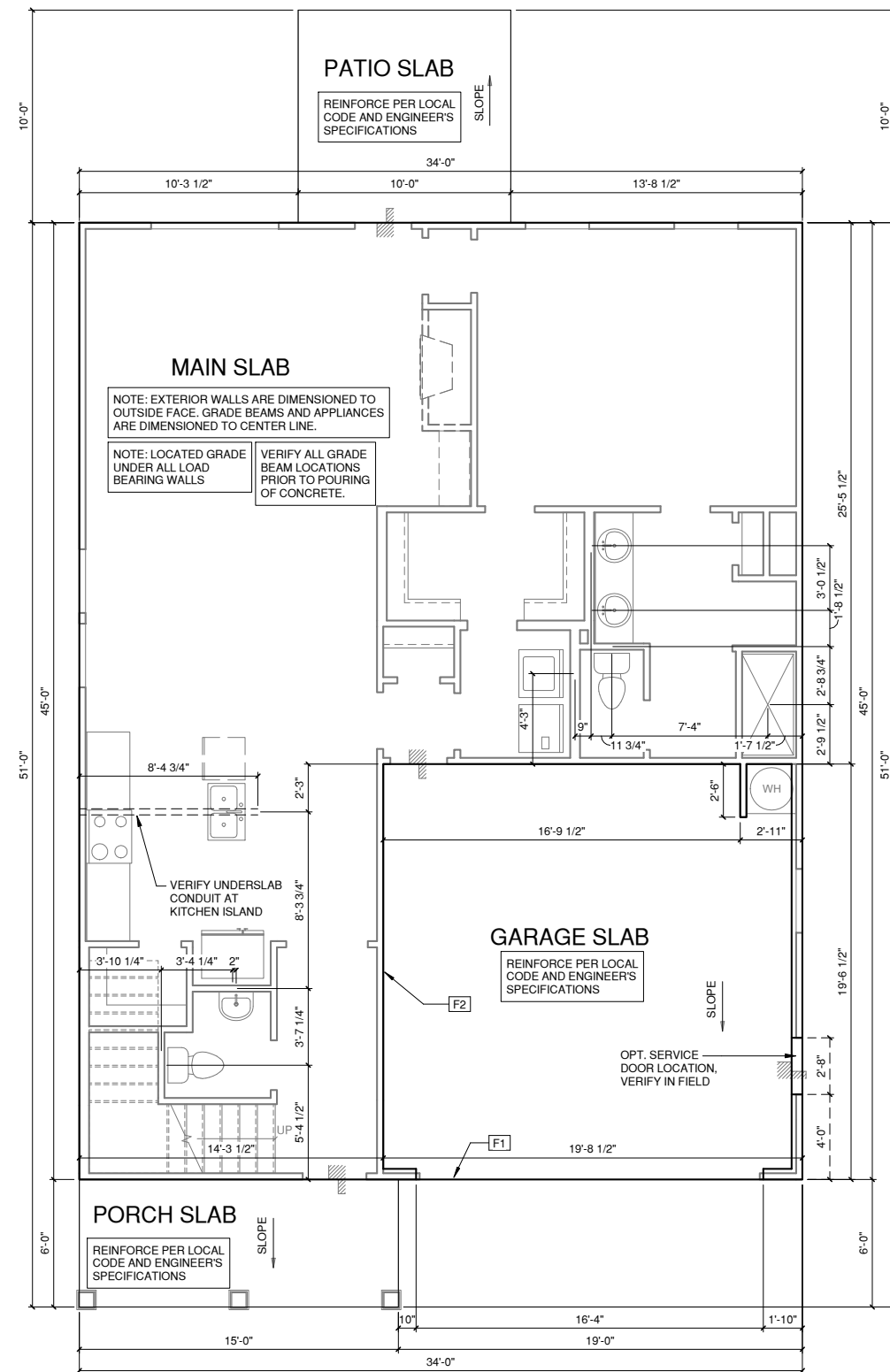
**NOTES FOR NORTH CAROLINA:**

- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
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- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1.)
- TYP STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER NCRC SECTION R311.3.) PROVIDE A SLIP-RESISTANT FINISH.
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**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

**FOUNDATION KEYNOTE LEGEND**

F1	LINE OF SLAB ABOVE
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**SLAB ELEV '1'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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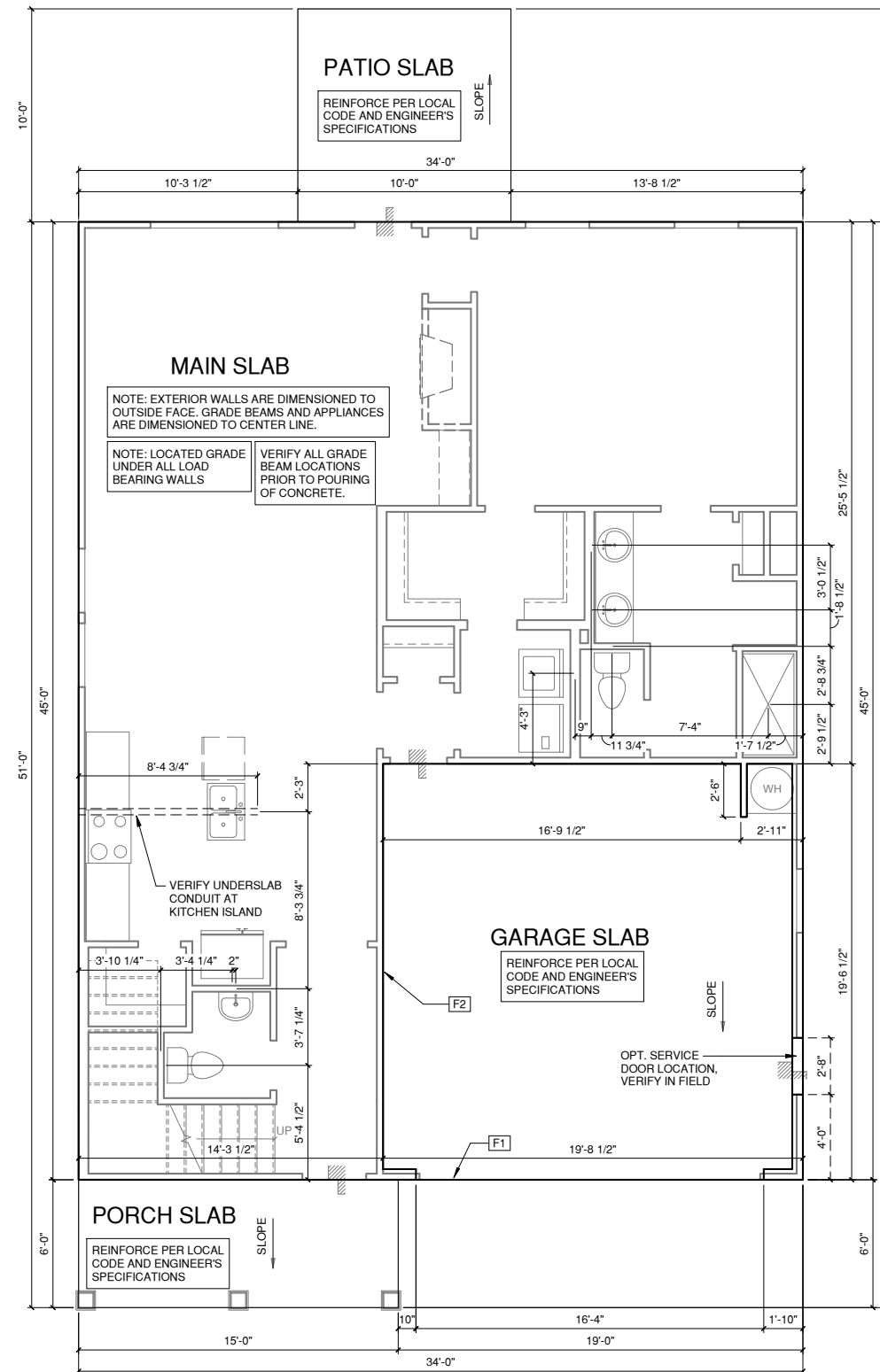
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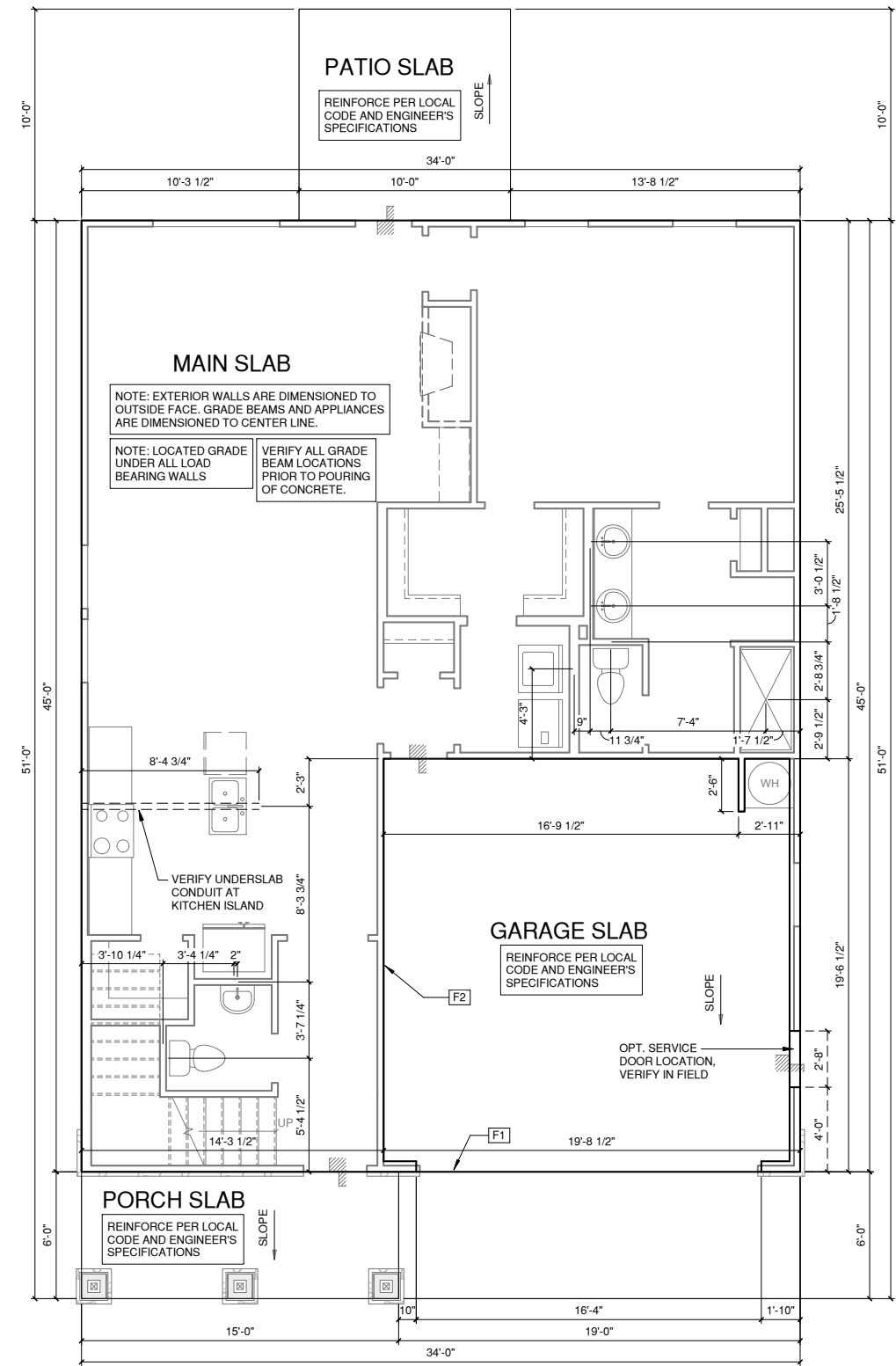
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SHEET NO:  
**A0.1.3**

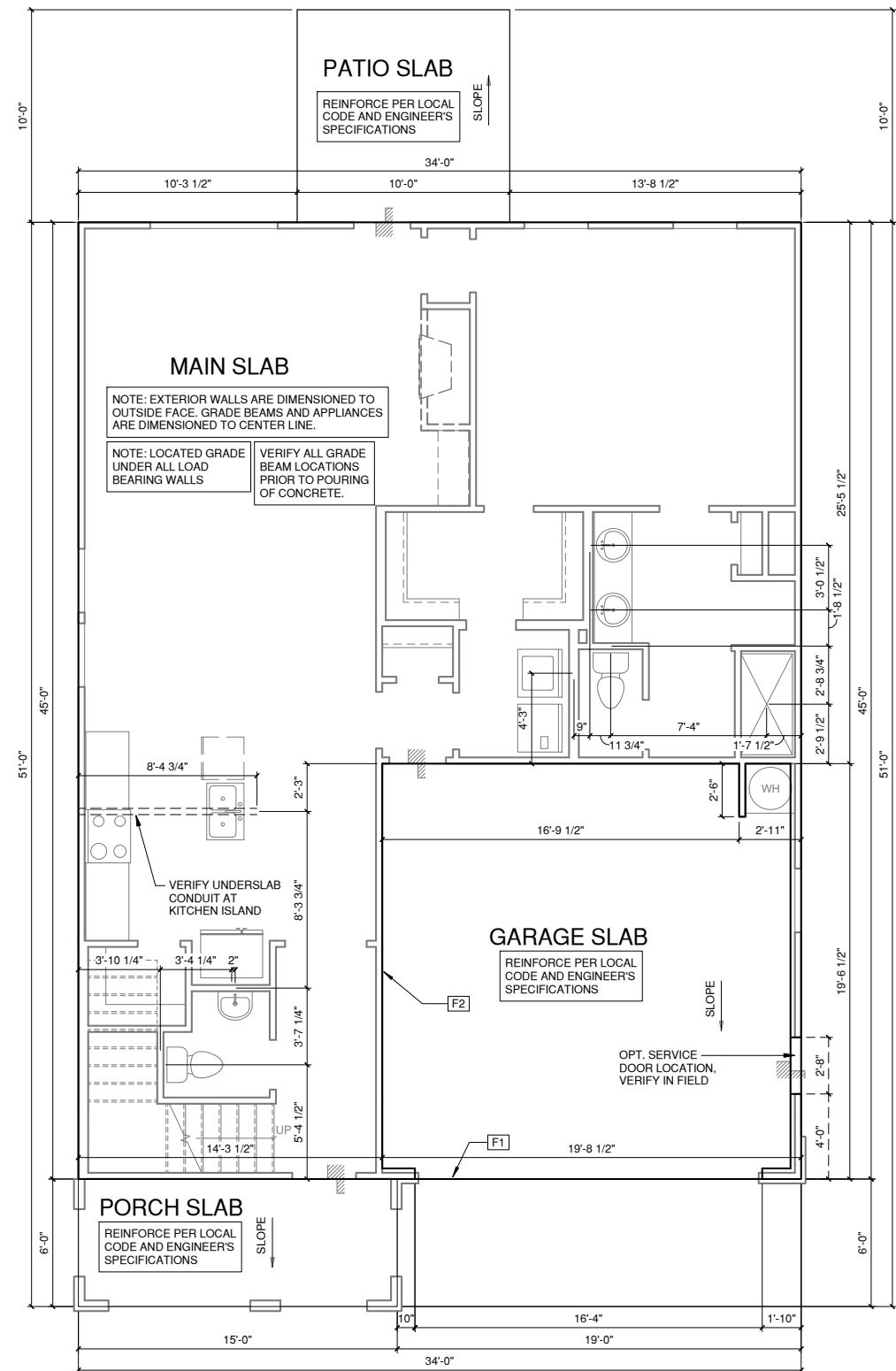
**NOTES FOR NORTH CAROLINA:**

- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
- PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
- VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1.)
- TYP STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER NCRC SECTION R311.3.) PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, PROTECT THE WATER HEATER WITH 3" DIA CONCRETE FILLED STEEL PIPE EMBEDDED INTO CONCRETE FOOTING.
- SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INFESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT OF AGRICULTURE.)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

**FOUNDATION KEYNOTE LEGEND**

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICKVENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRC SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



**1 SLAB ELEV '4'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
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CARY, NC 27511  
PHONE: (919) 320-3022

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NO: DATE: REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

JACKSON

SHEET TITLE:

**SLAB ELEV '4'**

PRINT DATE:

01.03.17

SHEET NO:

**A0.1.4**

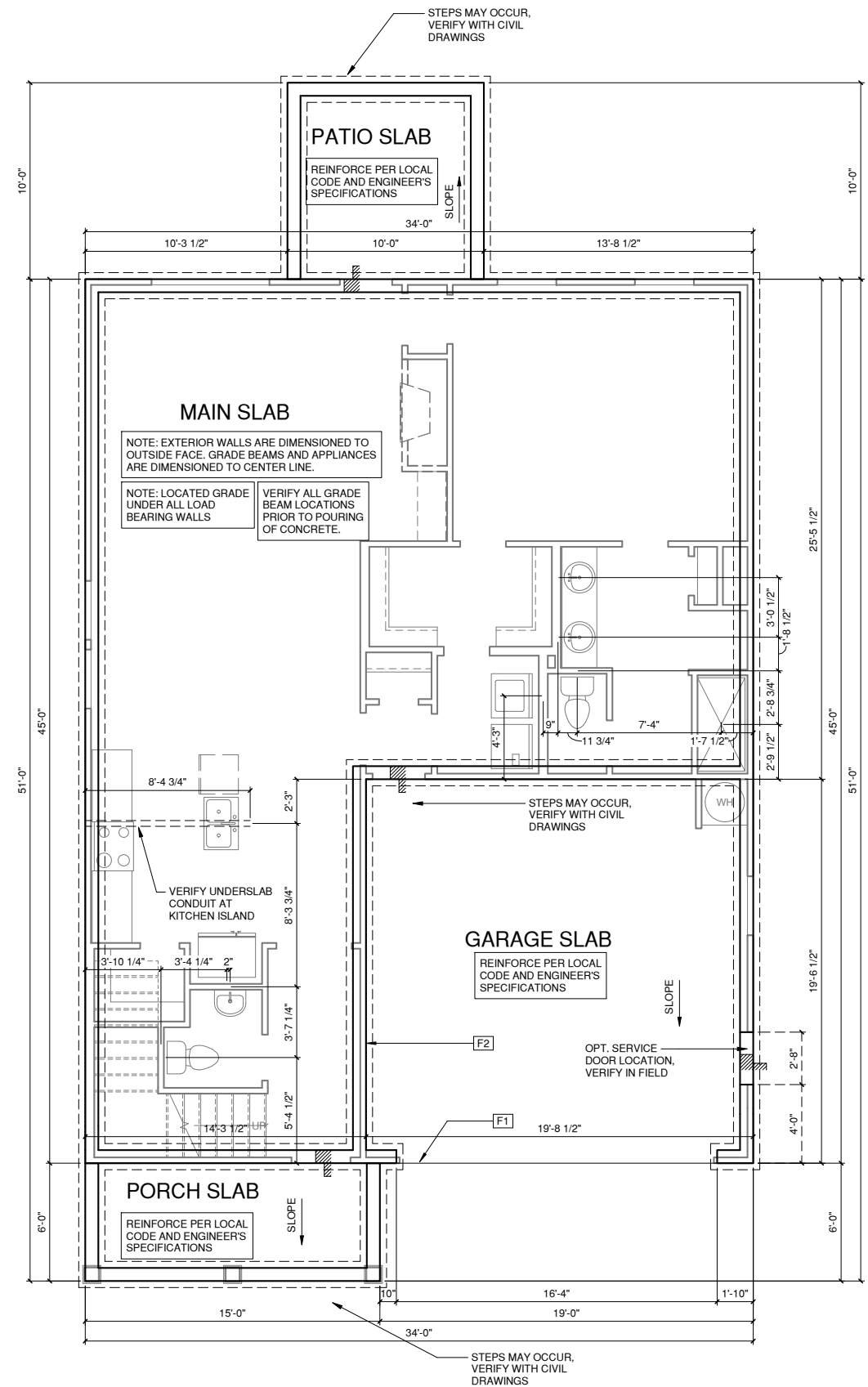
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- AT VENTED CRAWL SPACE:  
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- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
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**STEMWALL ELEV '1'**

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PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:

**STEMWALL ELEV '1'**

PRINT DATE:  
01.03.17

SHEET NO:  
**A0.2.1**

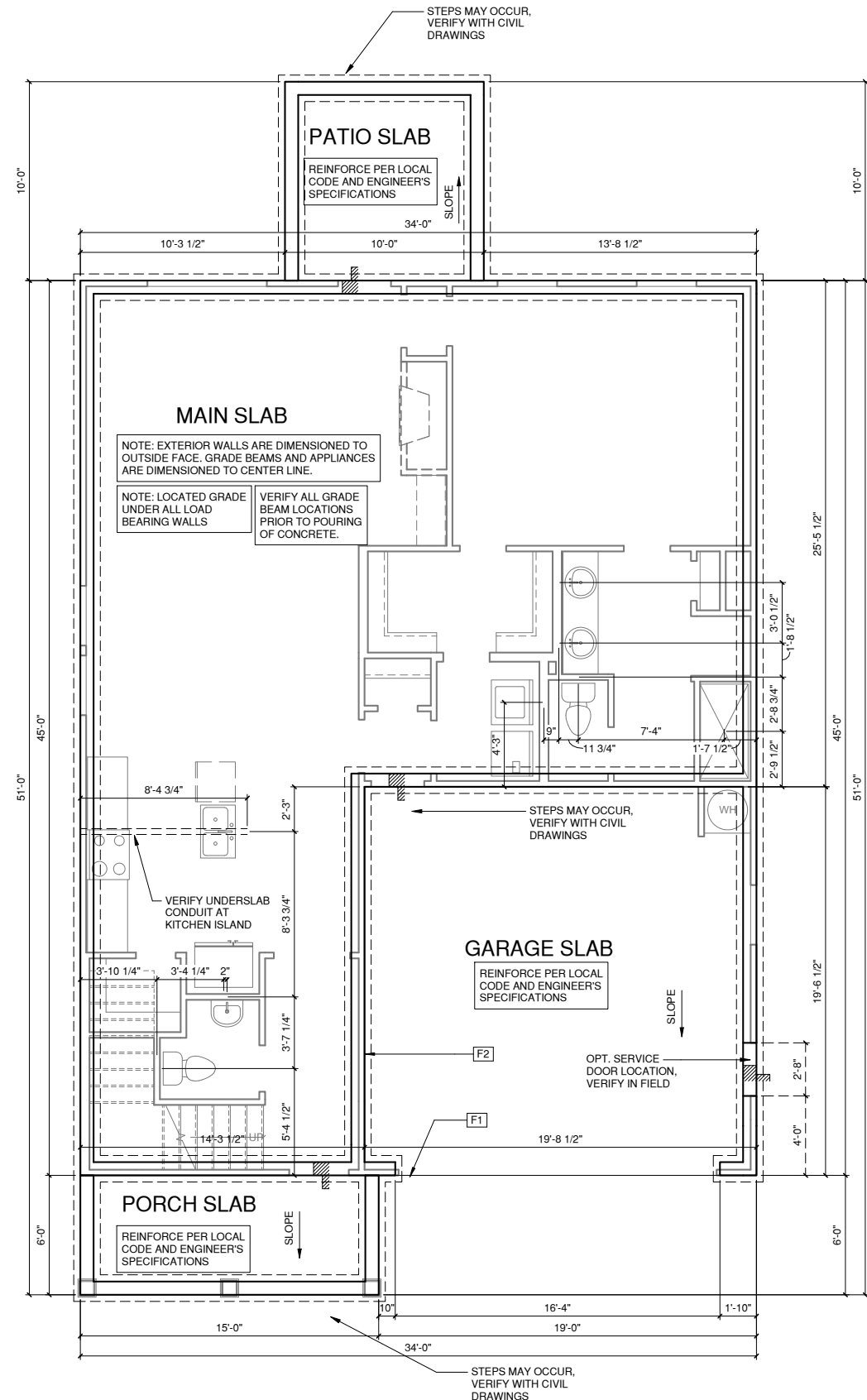
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**STEMWALL ELEV '2'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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102 FOUNTAIN BROOK CIRCLE  
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PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:

**STEMWALL ELEV '2'**

PRINT DATE:  
01.03.17

SHEET NO:  
**A0.2.2**

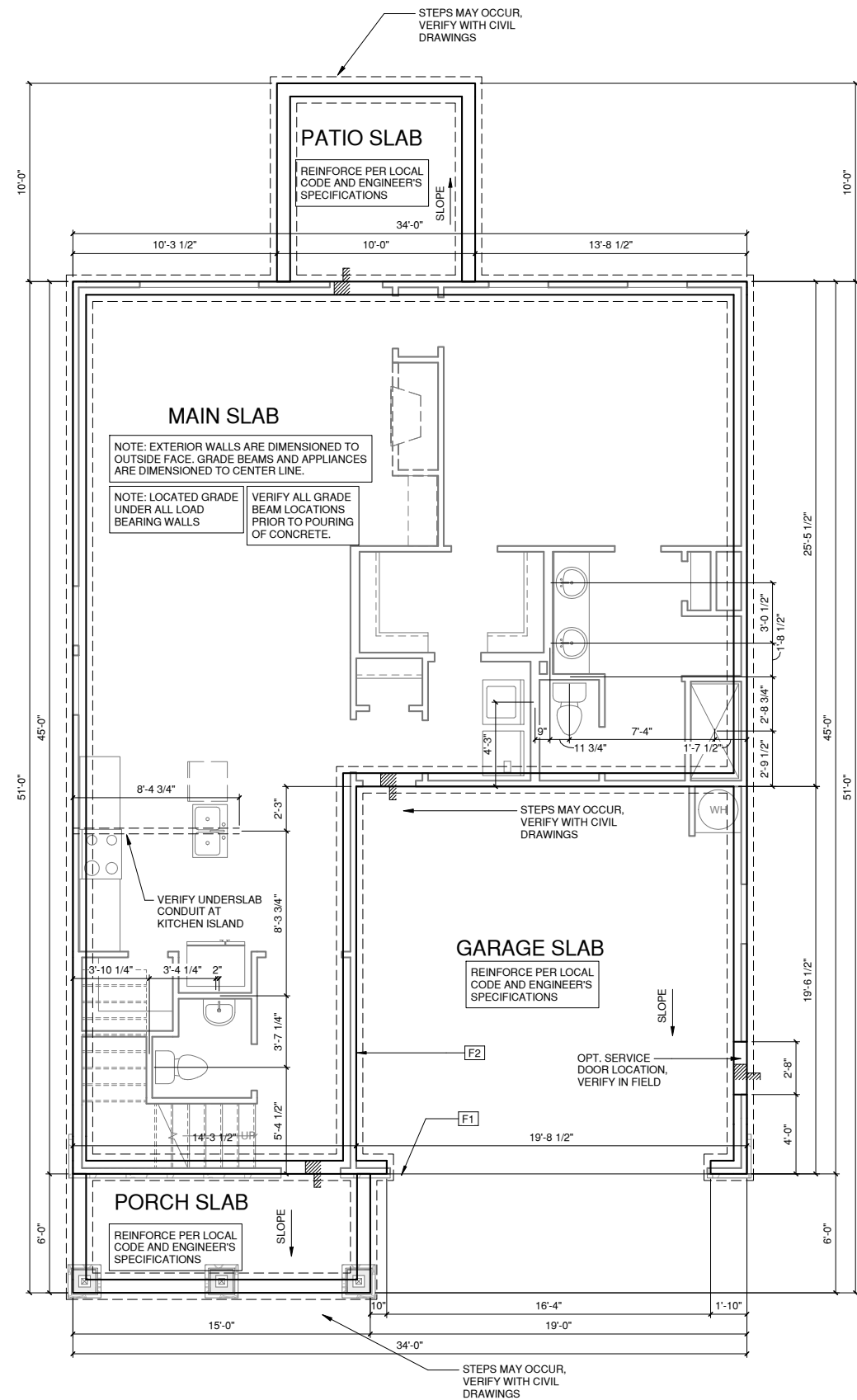
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**2 STEMWALL ELEV '3'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
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PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:

**STEMWALL ELEV '3'**

PRINT DATE:  
01.03.17

SHEET NO:  
**A0.2.3**



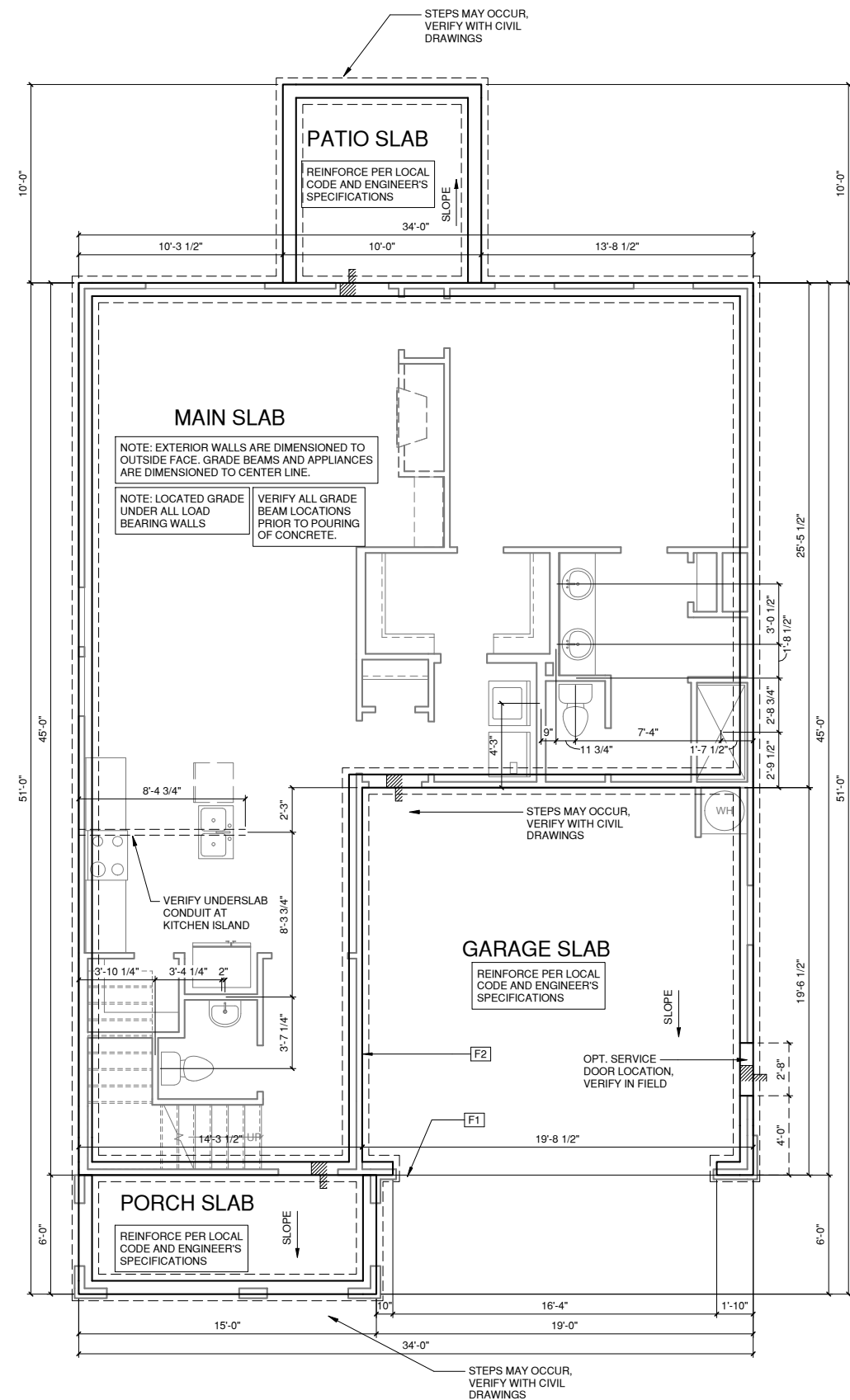
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SHEET TITLE:

**STEMWALL ELEV '4'**

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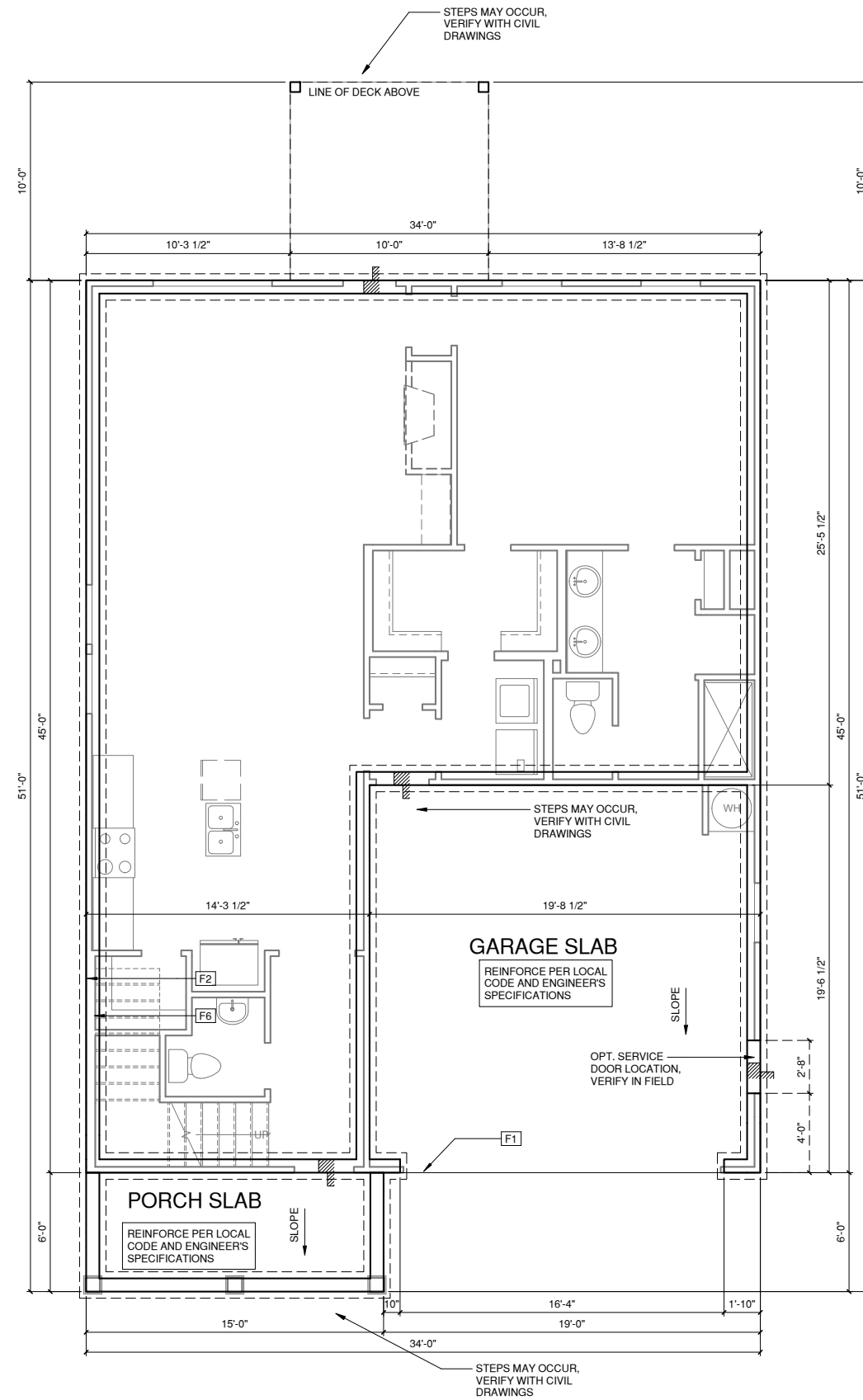
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F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICK VENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRC SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



**2 CRAWL SPACE ELEV '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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PHONE: (919) 320-3022

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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:  
  
QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:  
**CRAWL SPACE ELEV '1'**

PRINT DATE:  
01.03.17

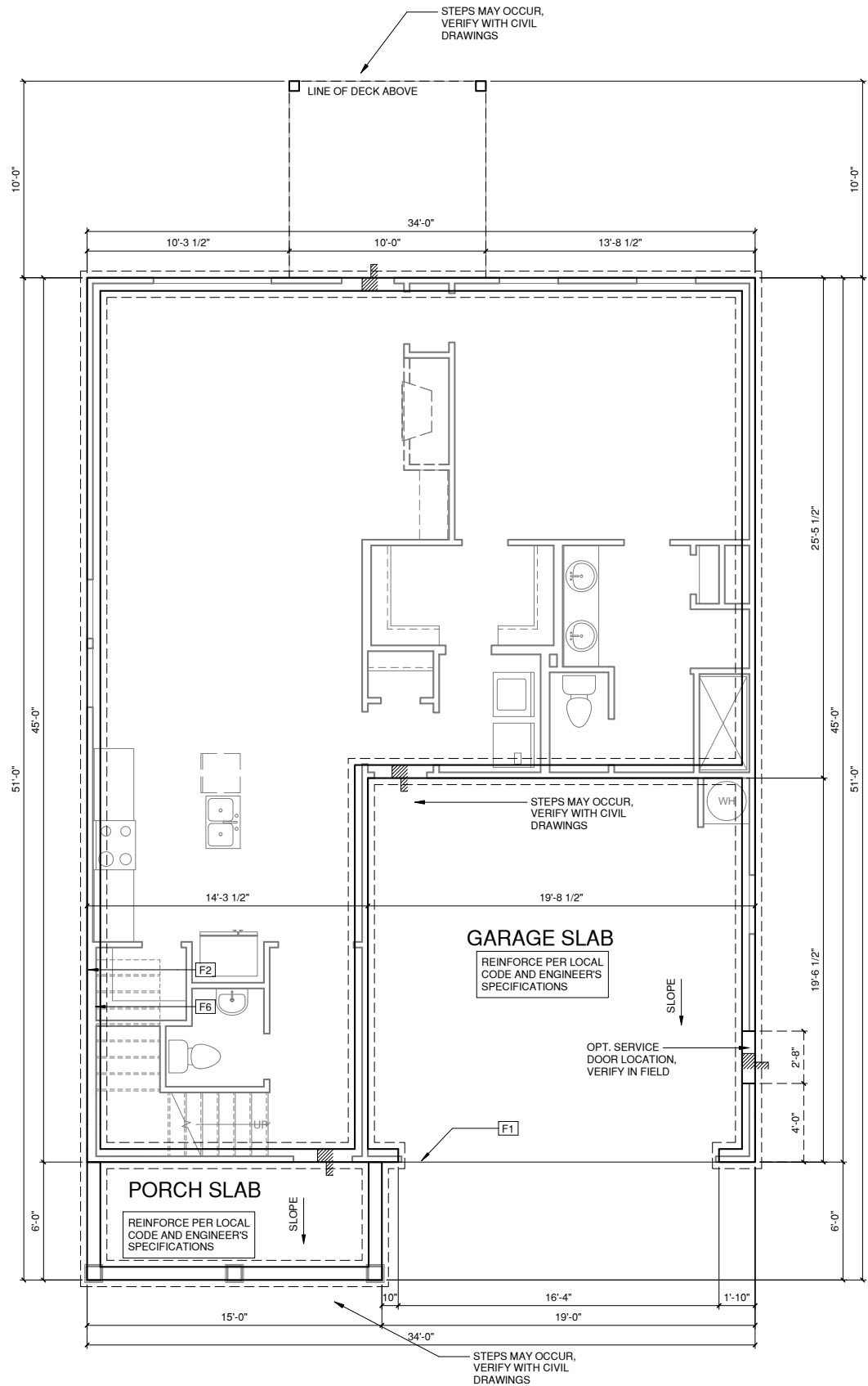
SHEET NO:  
**A0.3.1**

**CRAWL SPACE NOTES FOR NORTH CAROLINA:**

- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- TYP. STOOP AT INSWING SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED. MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.
- SOILS TREATMENT: BORACARE TERMITICIDE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)
- AT VENTED CRAWL SPACE: APPLY AN APPROVED VAPOR RETARDER OR EQUIVALENT, 6 MIL POLY-VINYL, GROUND COVER OVER FINISH GRADE OR CRAWL SPACE PER NCRC SECTION 408.2
- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
- PROVIDE AN ACCESS OPENING. MINIMUM SIZE OF 18"X24" FOR CRAWL ACCESS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LARGER SIZE REQUIREMENTS IF MECHANICAL EQUIPMENT IS LOCATED IN CRAWL. (PER NCRC SECTION 408.8)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

FOUNDATION KEYNOTE LEGEND	
F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICK VENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRC SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



**CRAWL SPACE ELEV '2'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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PROFESSIONAL SEAL:

PROJECT TITLE:  
 QUACKENBUSH HOMES LLC  
 9220 FAIRBANKS DR SUITE 240  
 RALEIGH, NC 27613  
 919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

JACKSON

SHEET TITLE:

**CRAWL SPACE ELEV '2'**

PRINT DATE:

01.03.17

SHEET NO:

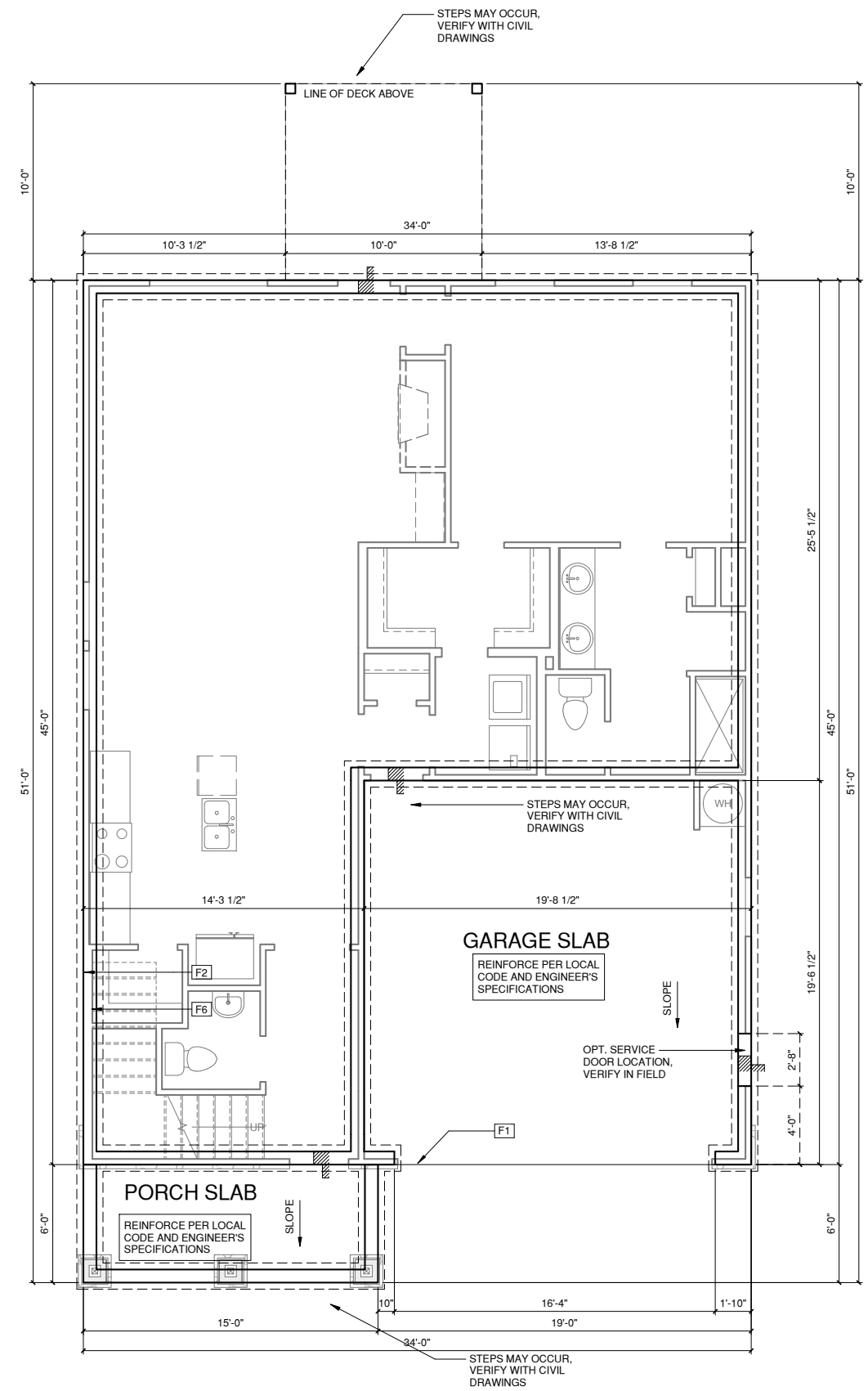
**A0.3.2**

**CRAWL SPACE NOTES FOR NORTH CAROLINA:**

- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- PROVIDE FIREBLOCKING. (PER NCR SECTION R602.8)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCR SECTION R311.3.1)
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED. MINIMUM (PER NCR SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.
- SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)
- AT VENTED CRAWL SPACE:  
APPLY AN APPROVED VAPOR RETARDER OR EQUIVALENT, 6 MIL POLY-VINYL, GROUND COVER OVER FINISH GRADE OR CRAWL SPACE PER NCR SECTION 408.2
- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCR SECTION R408.1.1 EXCEPTION.)
- PROVIDE AN ACCESS OPENING, MINIMUM SIZE OF 18"X24" FOR CRAWL ACCESS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LARGER SIZE REQUIREMENTS IF MECHANICAL EQUIPMENT IS LOCATED IN CRAWL. (PER NCR SECTION 408.8)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

FOUNDATION KEYNOTE LEGEND	
F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICK VENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCR SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



**CRAWL SPACE ELEV '3'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
 QUACKENBUSH HOMES LLC  
 9220 FAIRBANKS DR SUITE 240  
 RALEIGH, NC 27613  
 919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
 JACKSON

SHEET TITLE:

**CRAWL SPACE ELEV '3'**

PRINT DATE:  
 01.03.17

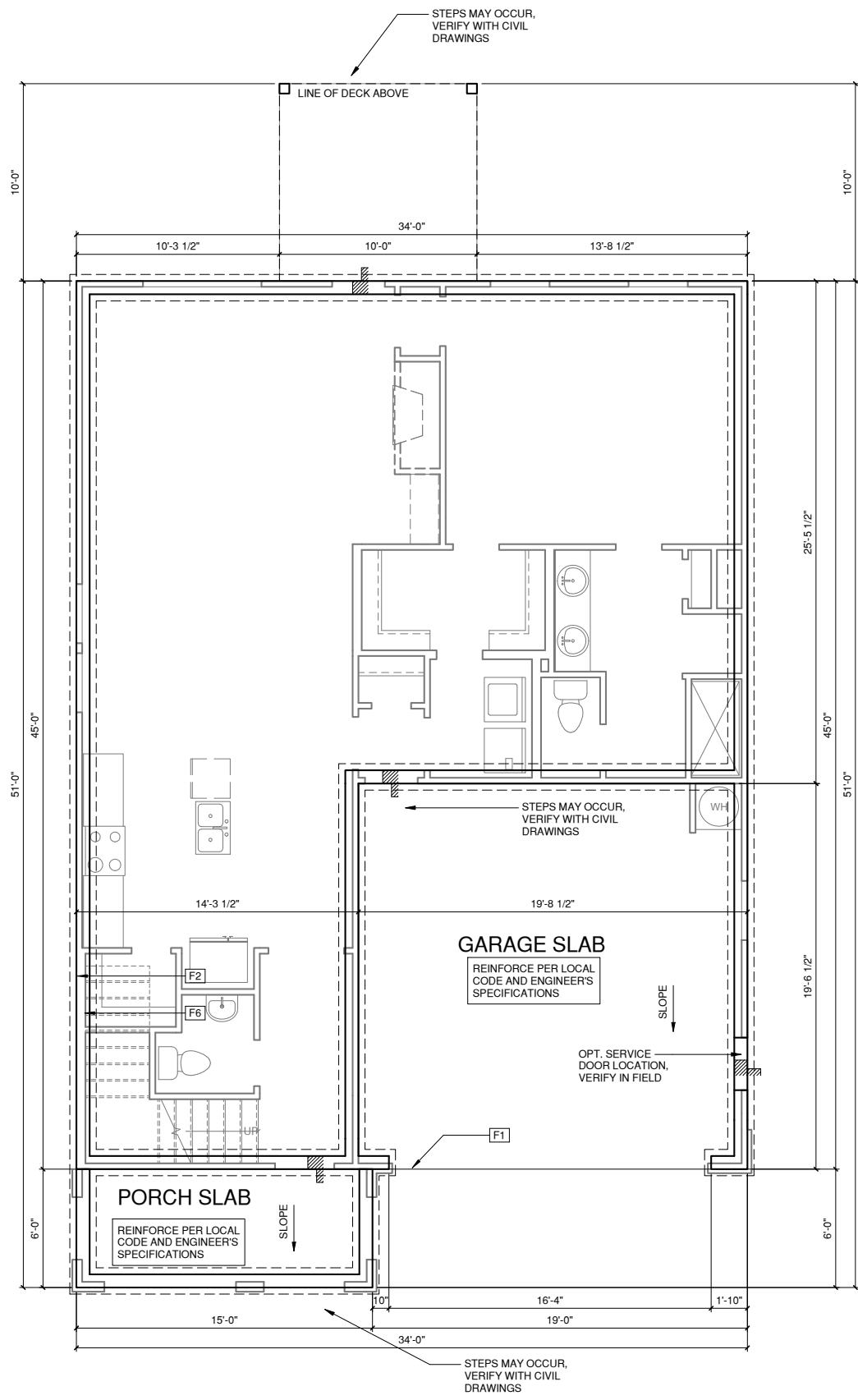
SHEET NO:  
**A0.3.3**

**CRAWL SPACE NOTES FOR NORTH CAROLINA:**

- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.
- SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)
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- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA. ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
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- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

# REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

FOUNDATION KEYNOTE LEGEND	
F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE
F6	TYPICAL CRAWL FOUNDATION WALL SHALL BE 8" CMU OR A COMBINATION OF 4" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS. ALL BLOCK CELLS AND SPACE BETWEEN BLOCK AND BRICK SHALL BE FILLED WITH SOLID CONCRETE. FOUNDATION WALL WITH FULL HEIGHT BRICKVENEER SHALL CONSIST OF 8" CMU WITH NOMINAL 4" BRICK. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ATTACHMENTS AND BRICK TIE SPACING. FILL VOIDS SOLID TO TOP OF CMU WALL. (MUST COMPLY WITH NCRC SECTION R404, TABLE R404.1.1(1) THROUGH R404.1.1(4) AND APPLICABLE SECTIONS OF R606, R607, R608.) VERIFY WITH STRUCTURAL DRAWINGS FOR WALL FOOTING SIZE AND DEPTH.



**CRAWL SPACE ELEV '4'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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NO.	DATE	REVISION

PROFESSIONAL SEAL:

PROJECT TITLE:  
 QUACKENBUSH HOMES LLC  
 9220 FAIRBANKS DR SUITE 240  
 RALEIGH, NC 27613  
 919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:  
  
 QUACKENBUSH HOMES

PROJECT NO:  
 JACKSON

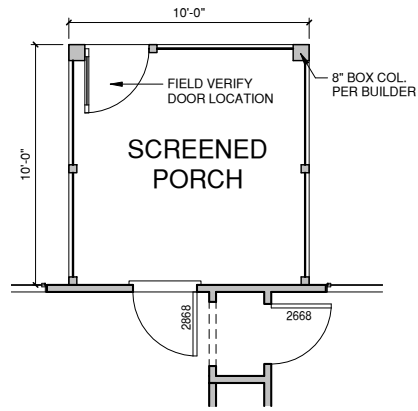
SHEET TITLE:  
**CRAWL SPACE ELEV '4'**

PRINT DATE:  
 01.03.17

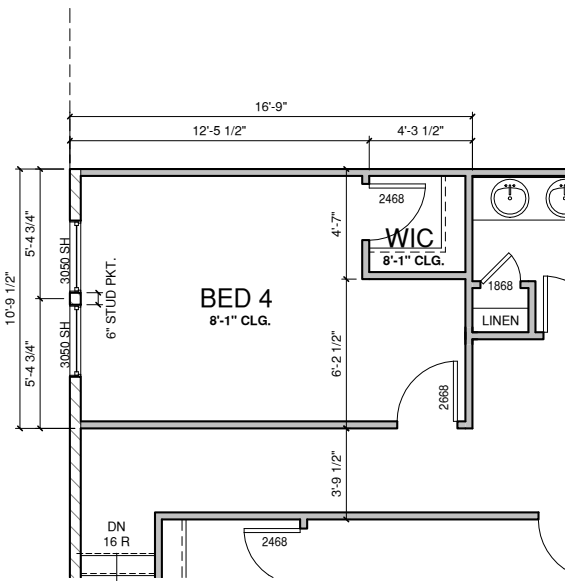
SHEET NO:  
**A0.3.4**

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

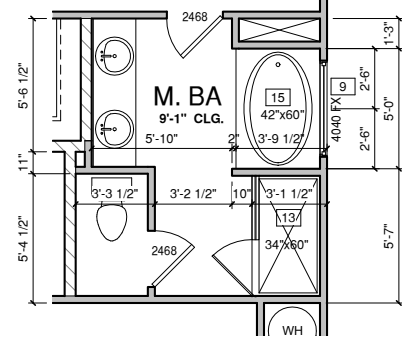
FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
3	BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASSED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS



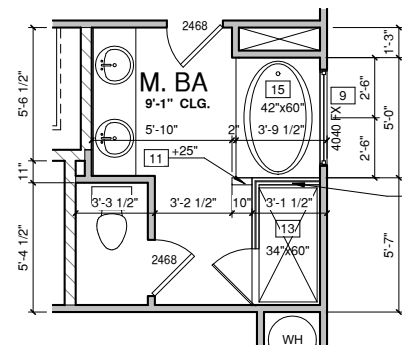
**OPT. SCREENED PORCH**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



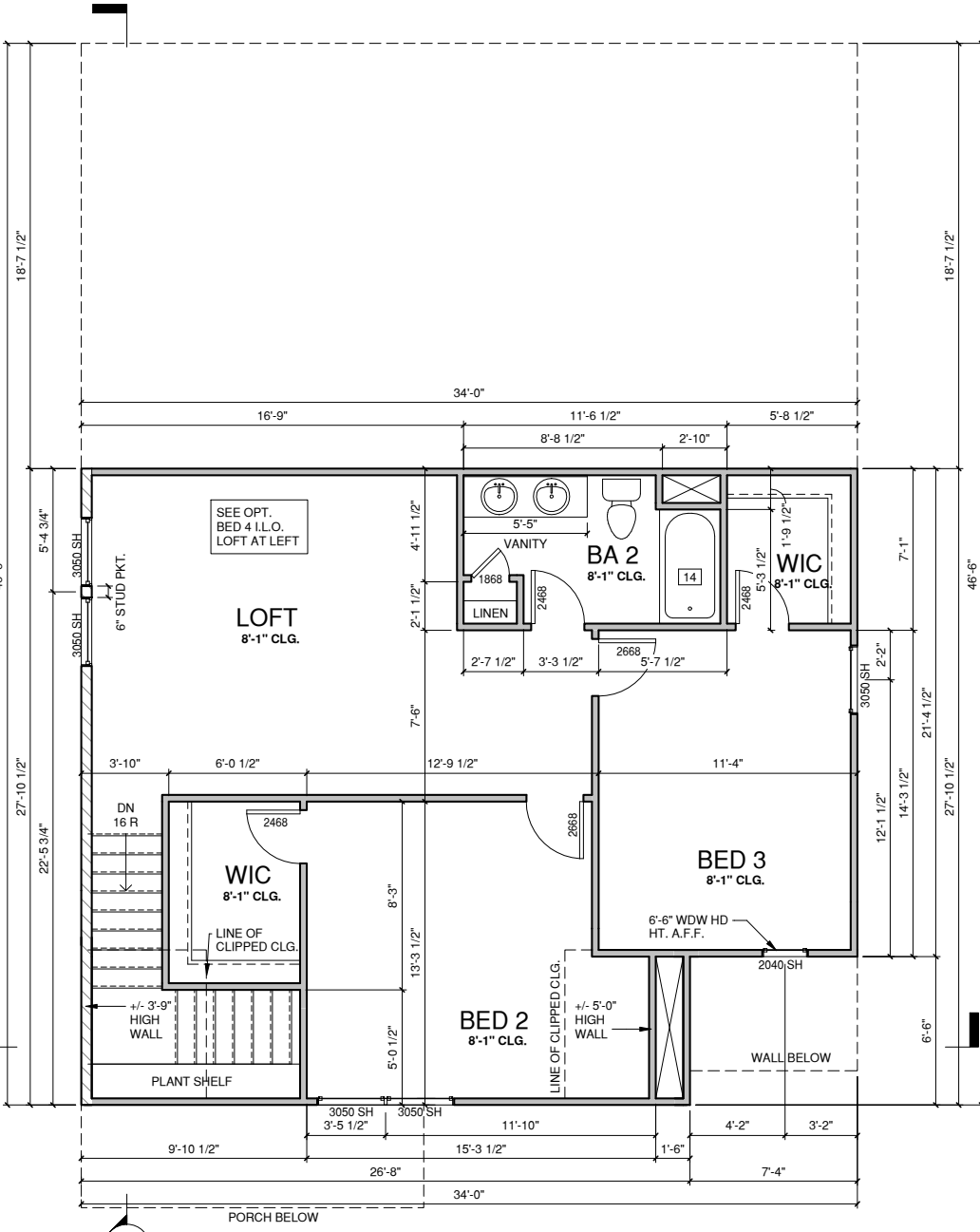
**OPT. BED 4 I.L.O. LOFT**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



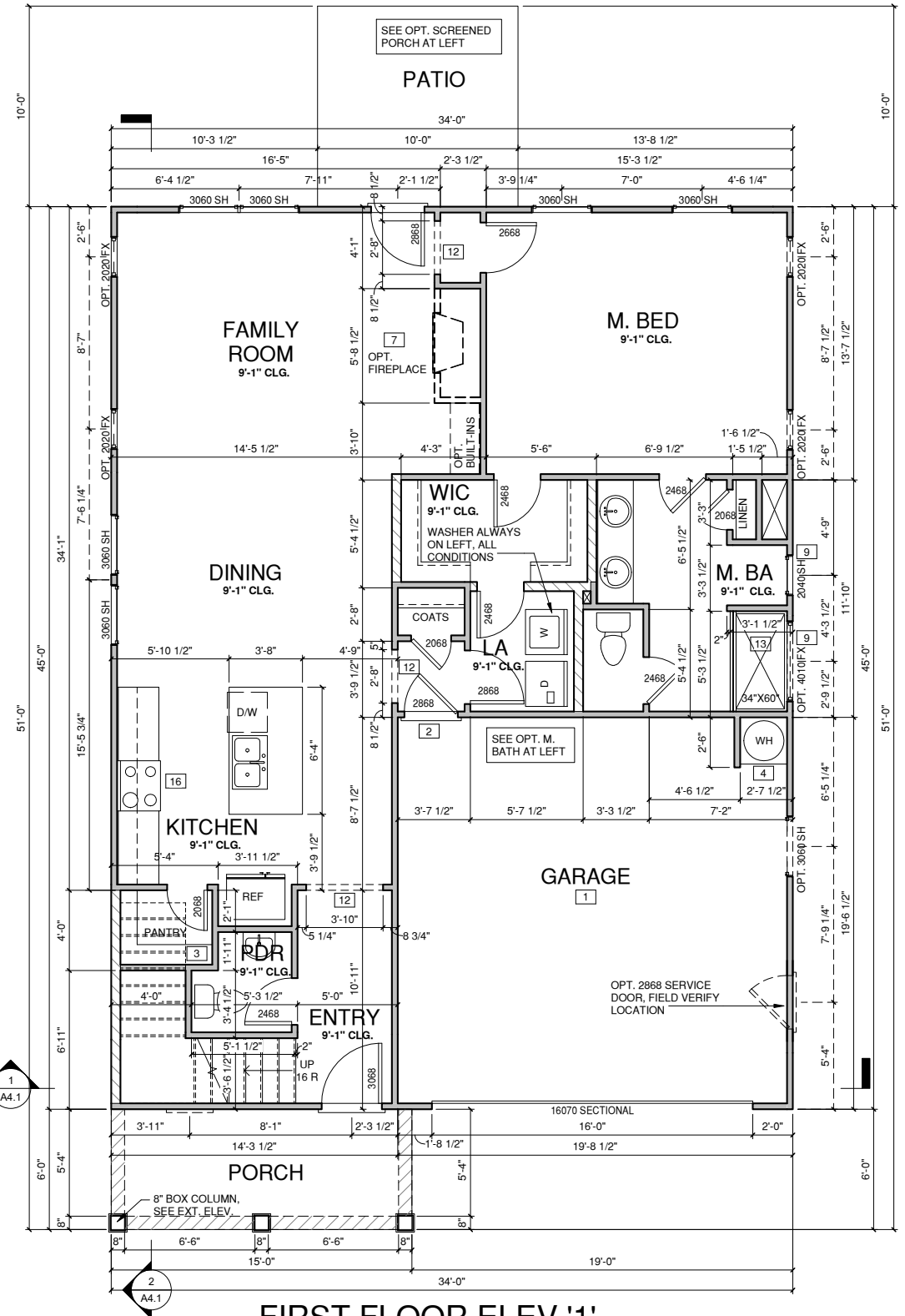
**OPT. MASTER BATH 1**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



**OPT. MASTER BATH 2**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



**SECOND FLOOR ELEV '1'**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



**FIRST FLOOR ELEV '1'**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



NORTH CAROLINA OFFICE  
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NO: DATE: REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
 QUACKENBUSH HOMES LLC  
 9220 FAIRBANKS DR SUITE 240  
 RALEIGH, NC 27613  
 919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
 JACKSON

SHEET TITLE:

**FLOOR PLANS  
 ELEV '1'**

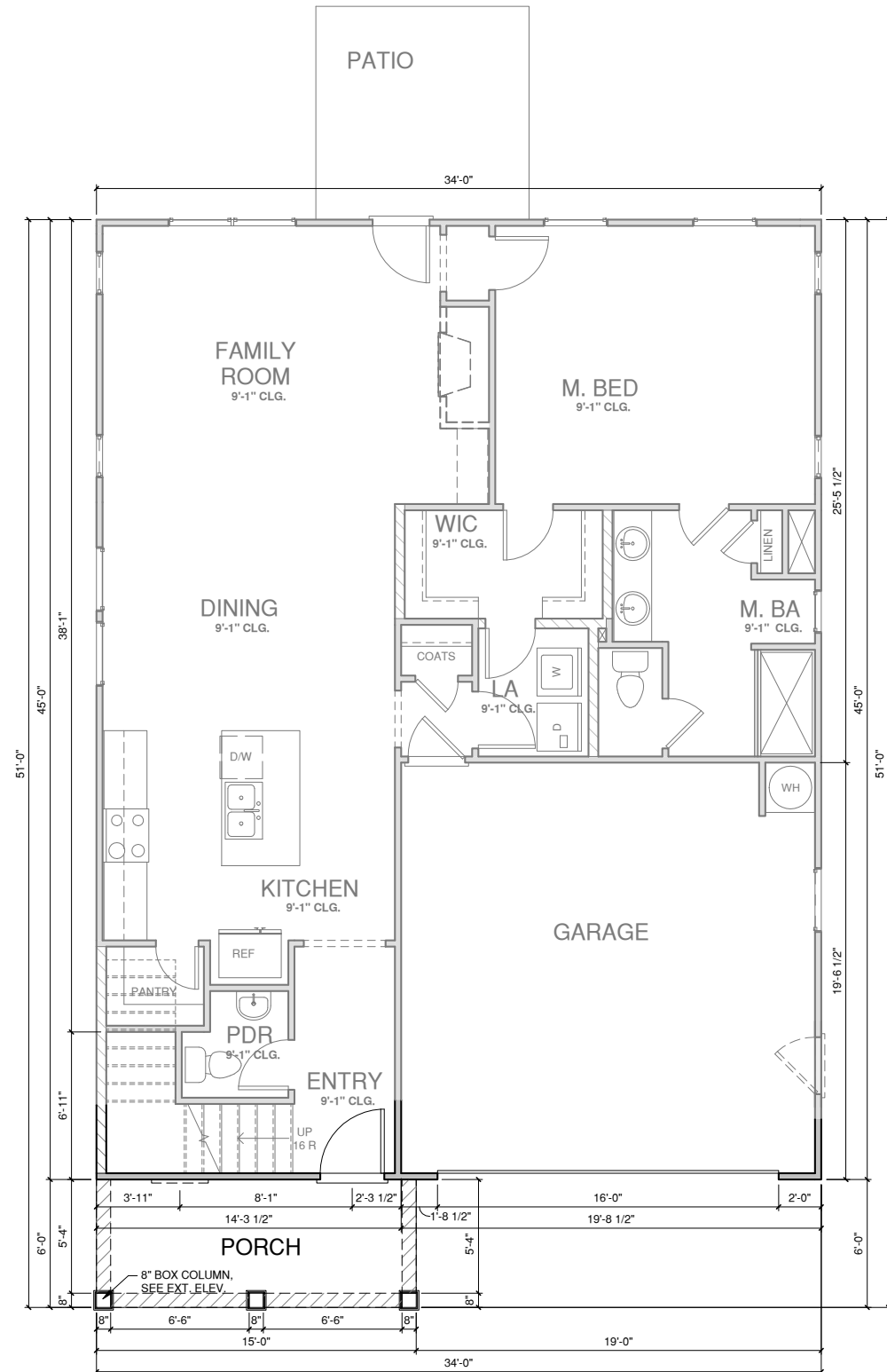
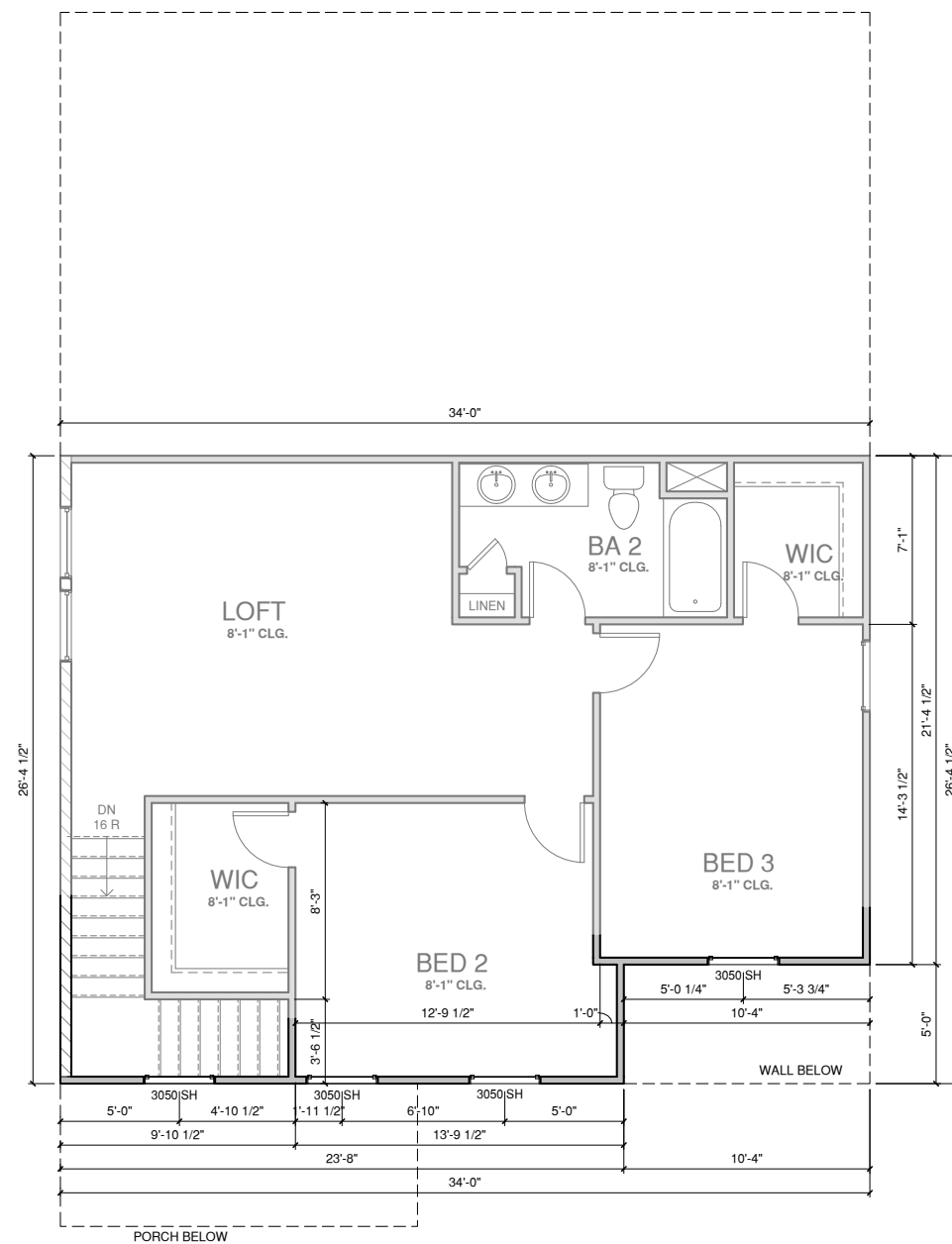
PRINT DATE:  
 01.03.17

SHEET NO:

**A1.1**

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
3	BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS



**1 SECOND FLOOR ELEV '2'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

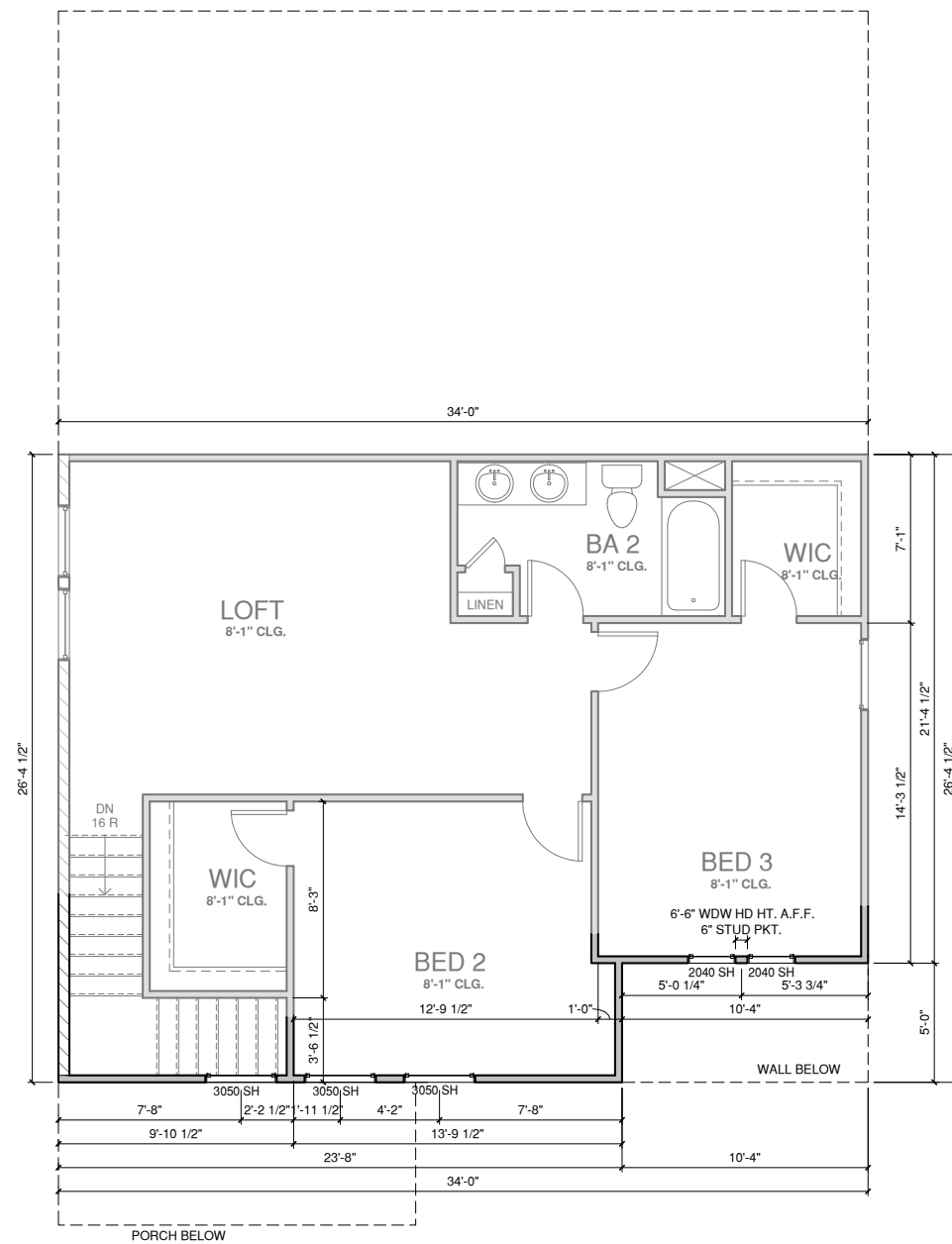
**2 FIRST FLOOR ELEV '2'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**WALL LEGEND**

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

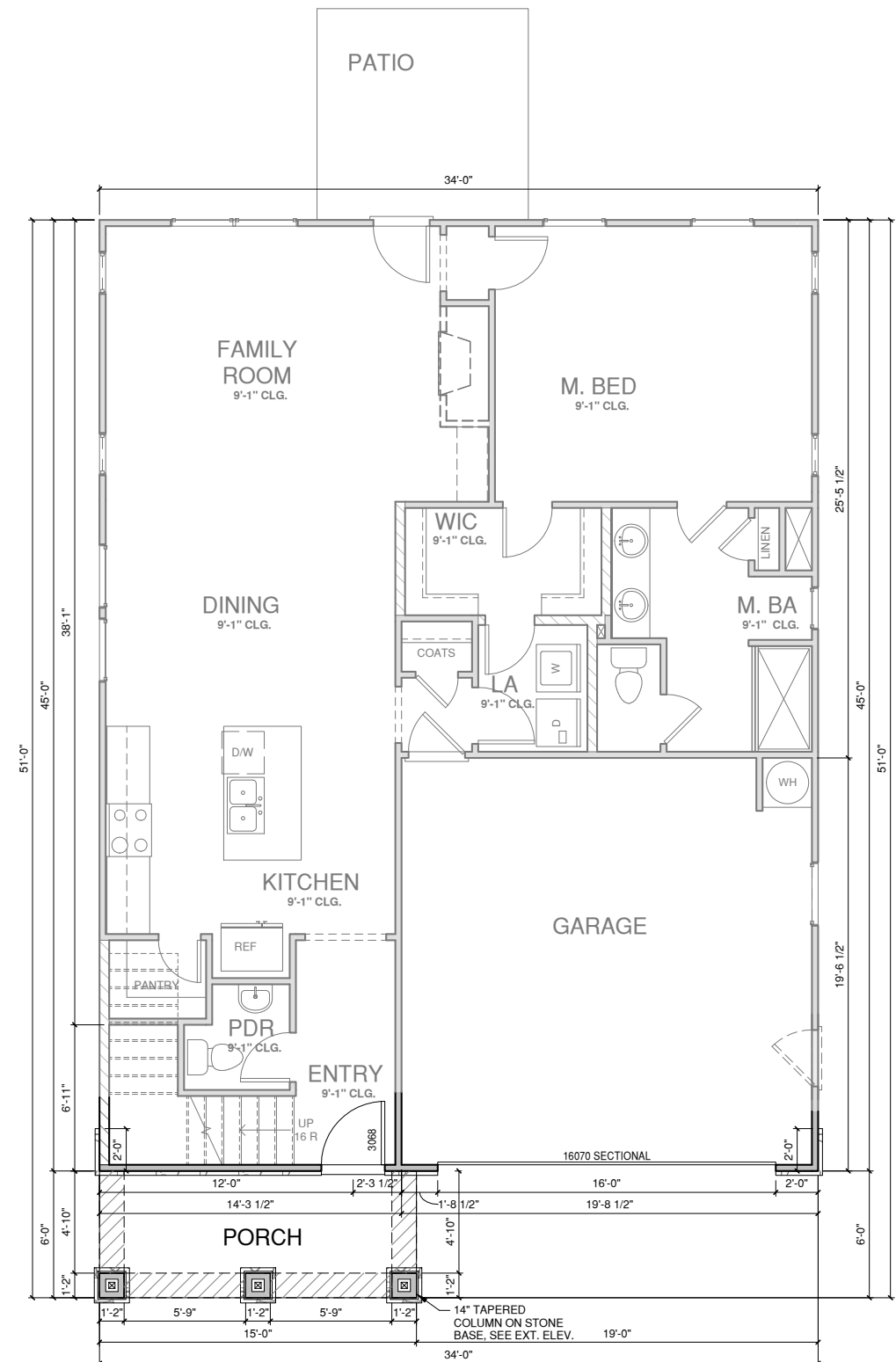
**FLOOR PLAN KEYNOTE LEGEND**

1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
3	BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O, SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS



**SECOND FLOOR ELEV '3'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FIRST FLOOR ELEV '3'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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PROFESSIONAL SEAL:

PROJECT TITLE:  
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9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
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**CONSTRUCTION SET**

CLIENTS NAME:

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PROJECT NO:

JACKSON

SHEET TITLE:

**FLOOR PLANS  
ELEV '4'**

PRINT DATE:

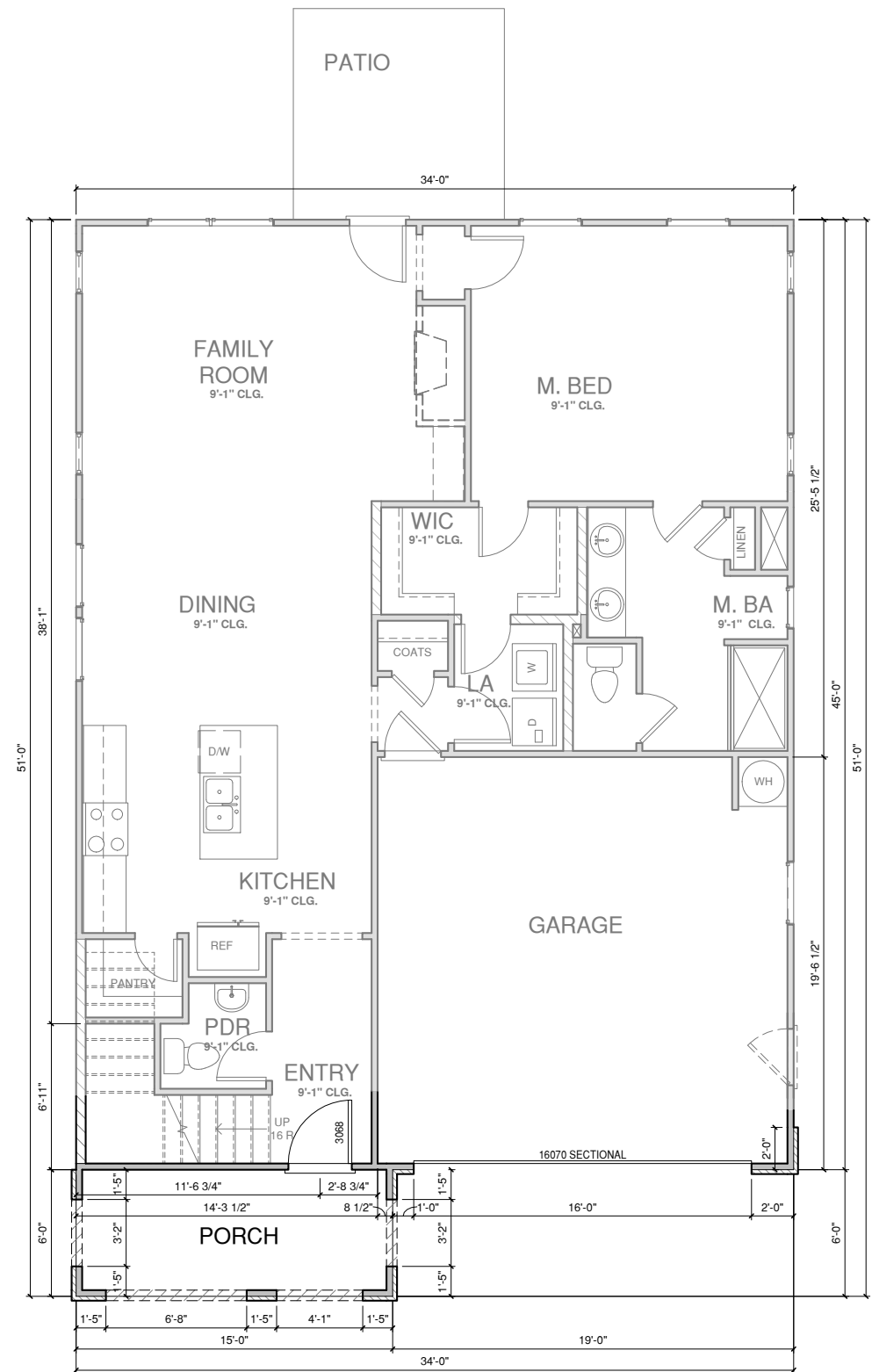
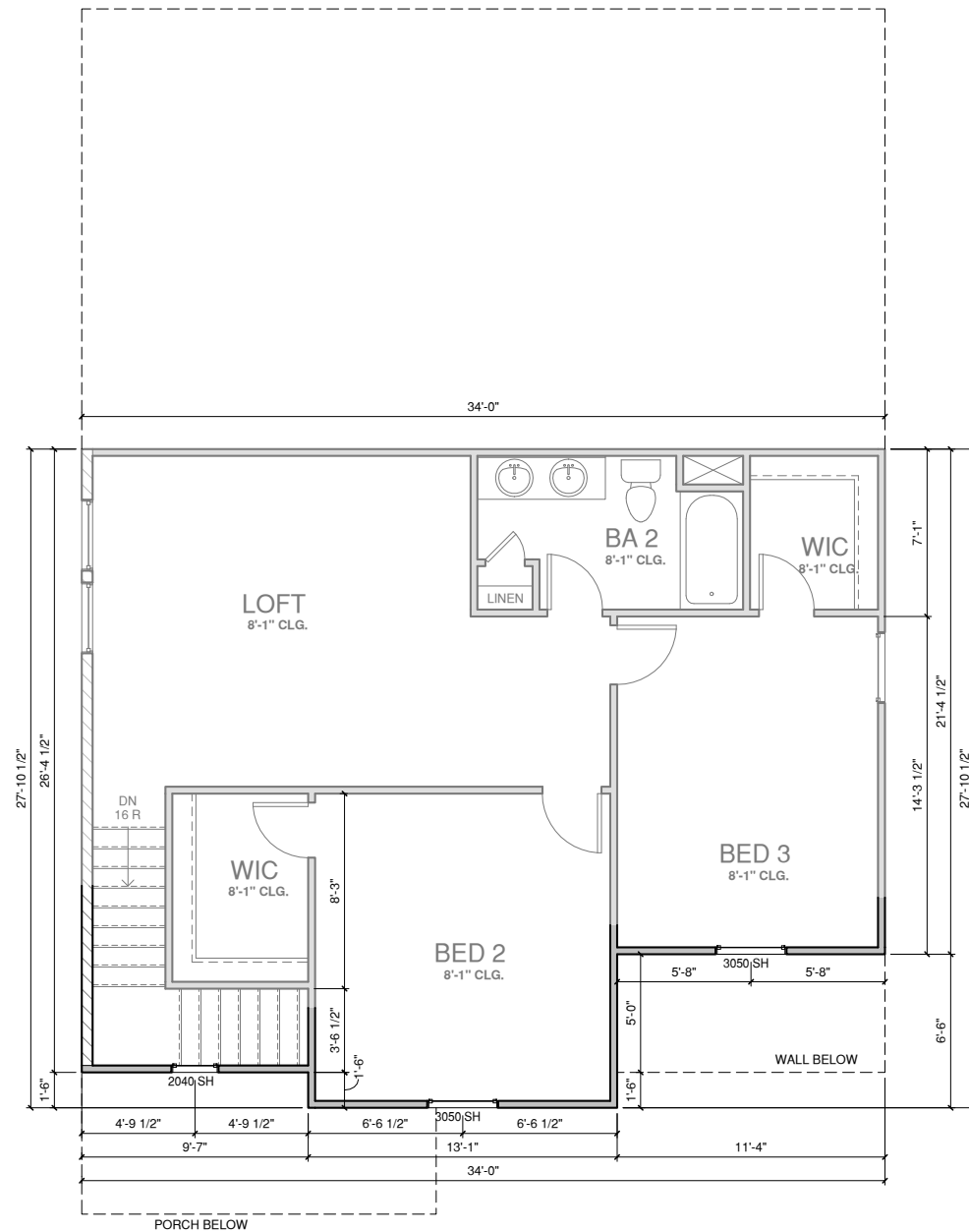
01.03.17

SHEET NO:

**A1.4**

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED

FLOOR PLAN KEYNOTE LEGEND	
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
3	BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O, SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
15	ACRYLIC TUB W/ PLATFORM, SIZE AS NOTED
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS



NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

JACKSON

SHEET TITLE:

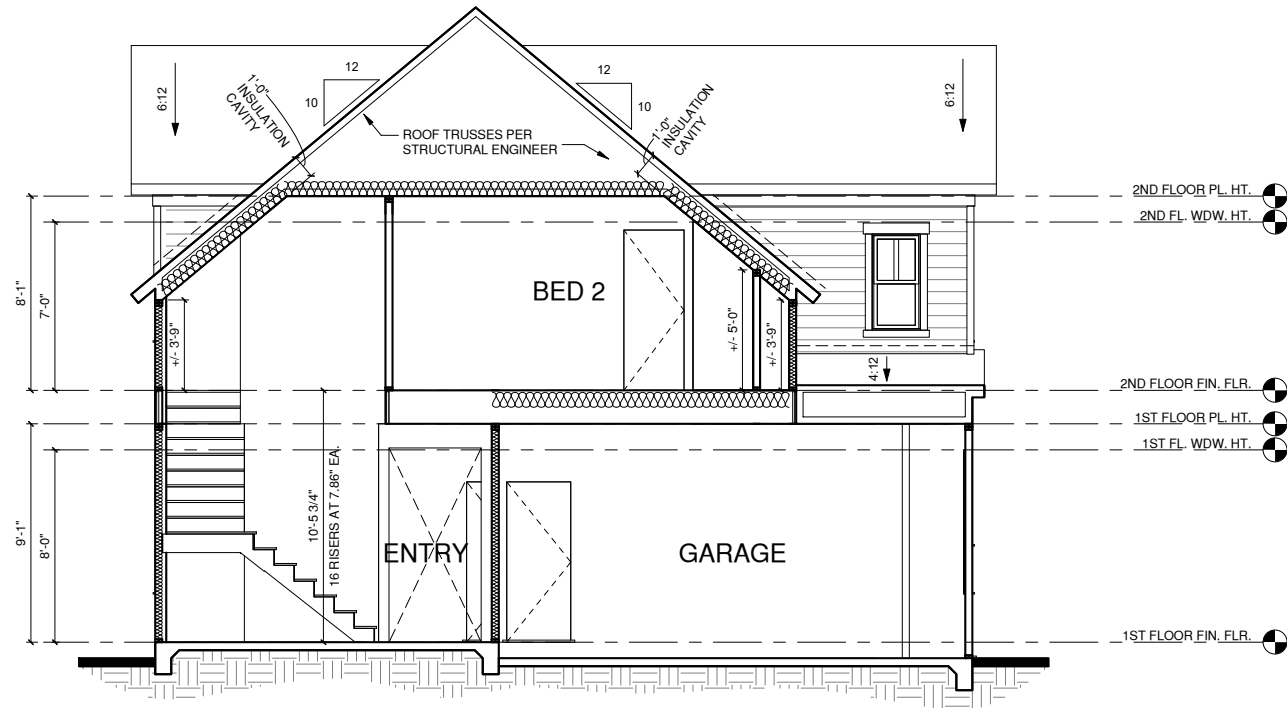
**SECTIONS**

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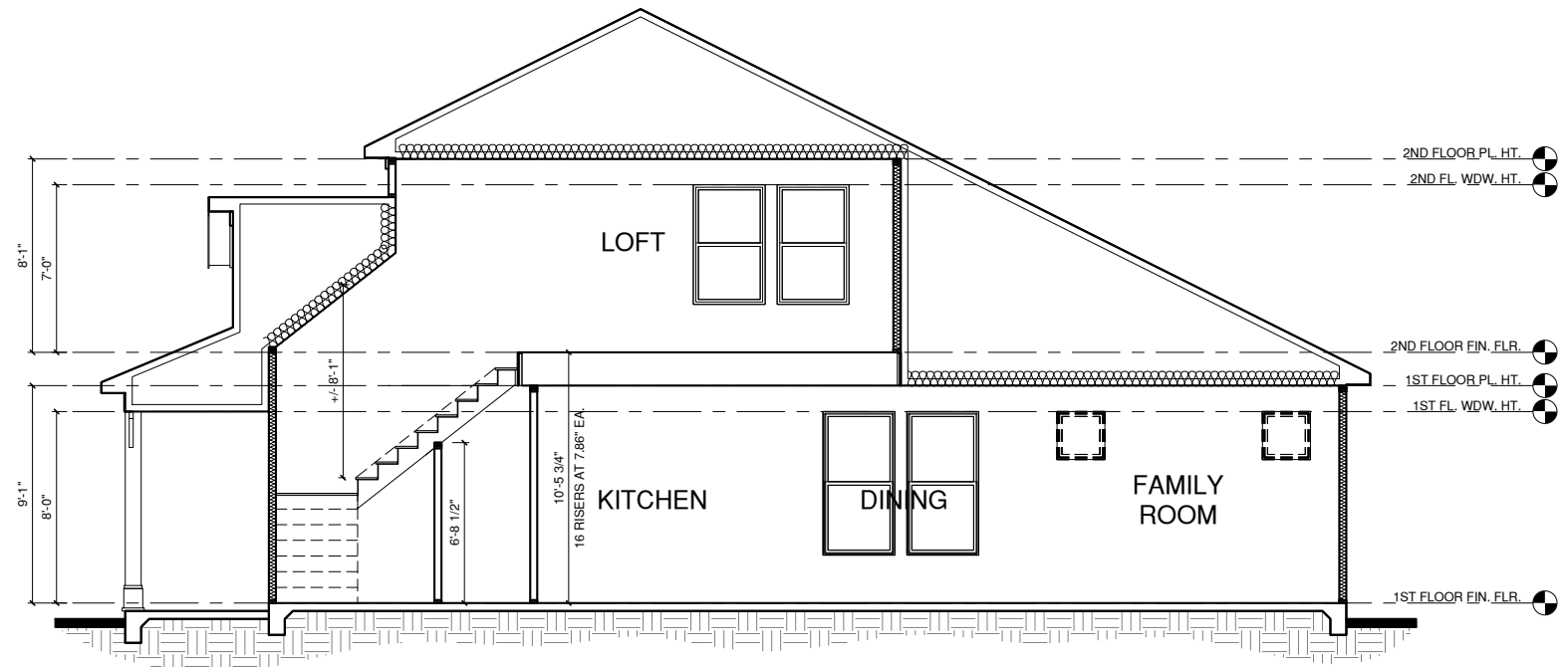
01.03.17

SHEET NO:

**A4.1**



**BUILDING SECTION 1**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 2**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:

**ELEVATIONS  
'1'**

PRINT DATE:  
01.03.17

SHEET NO:  
**A5.1**

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

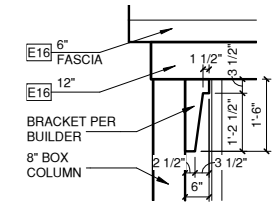
-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

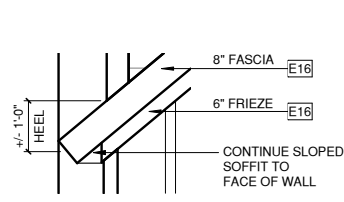
-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E10	OPT. STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED



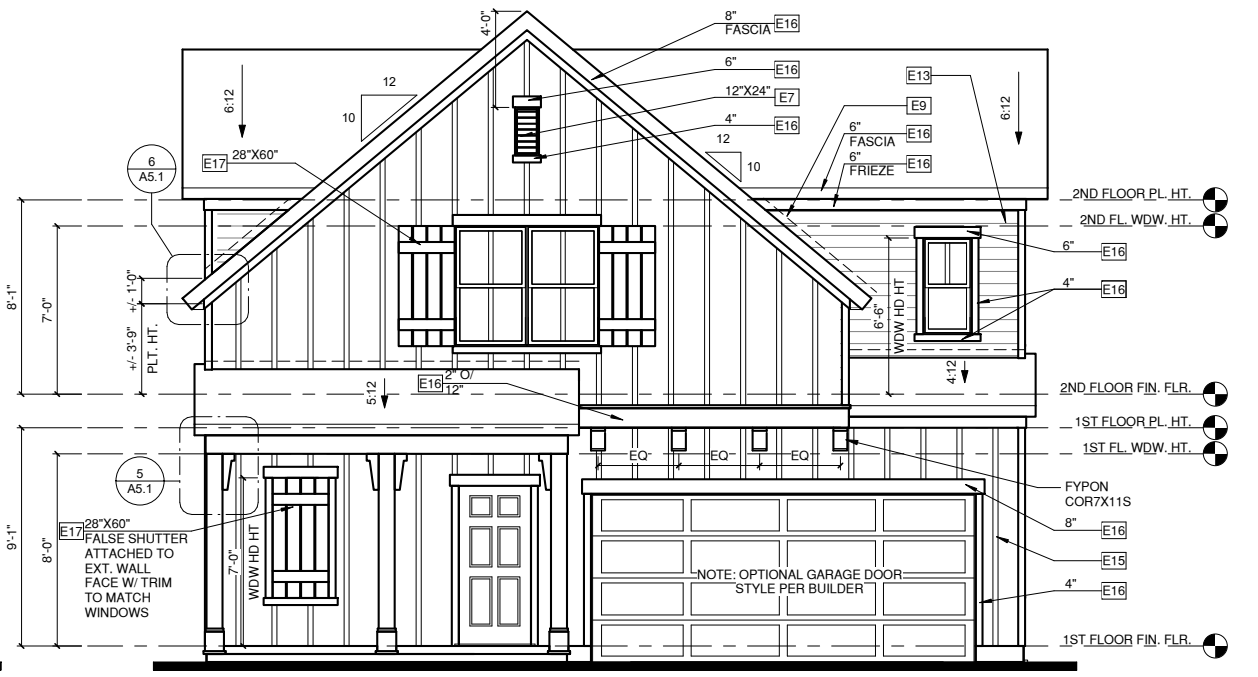
**BRACKET DETAIL '1'**  
1/2" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



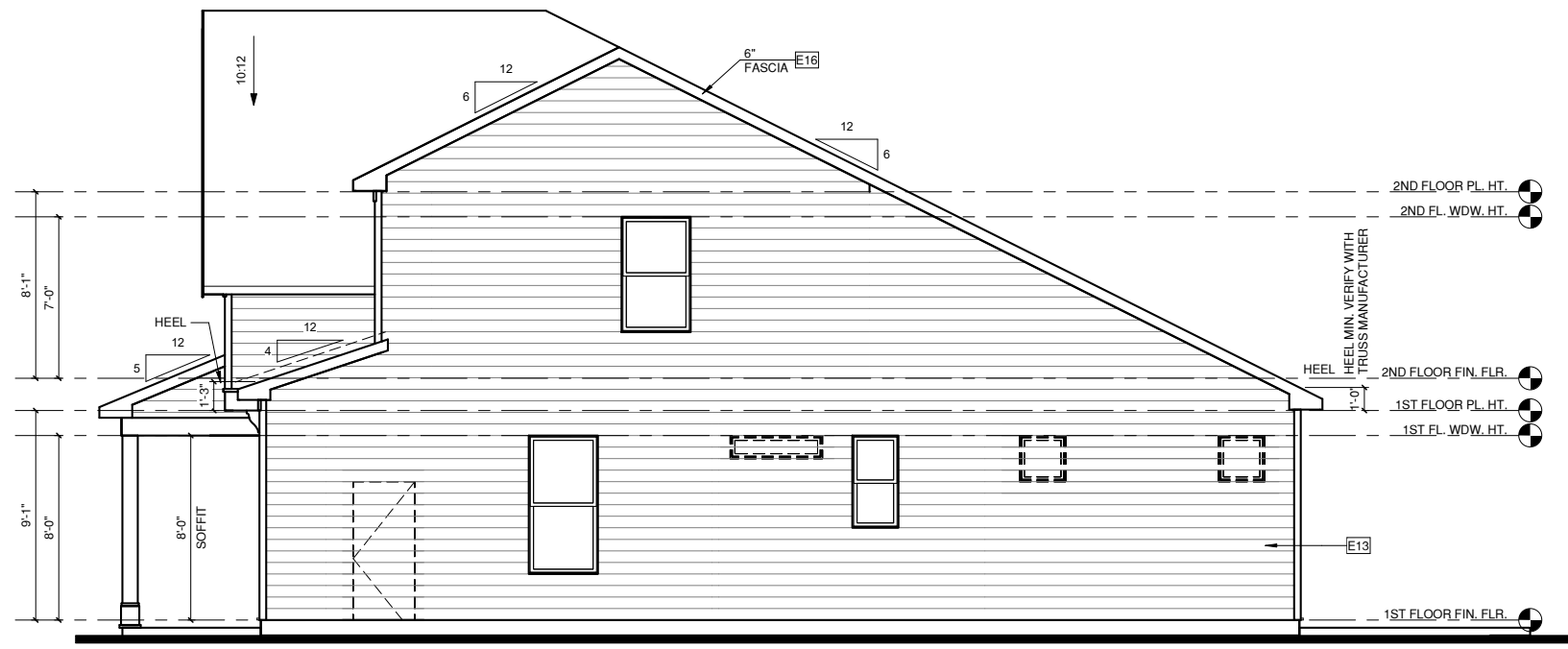
**EAVE DETAIL '1'**  
1/2" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



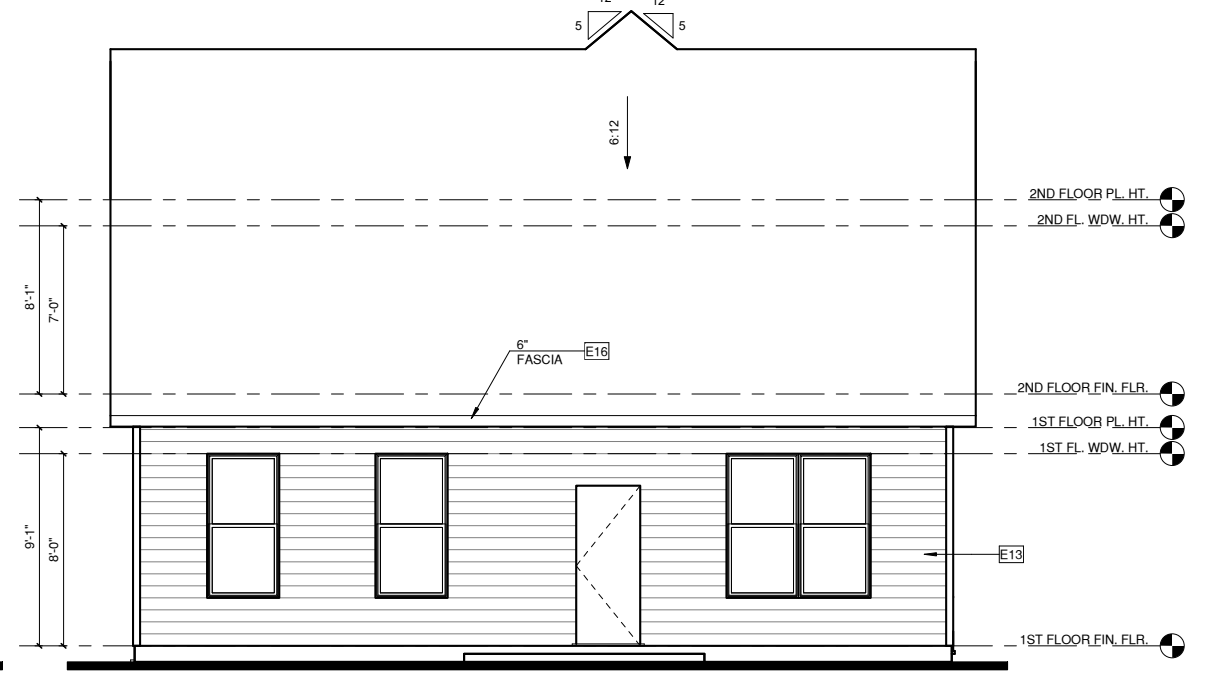
**LEFT ELEVATION '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FRONT ELEVATION '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**RIGHT ELEVATION '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



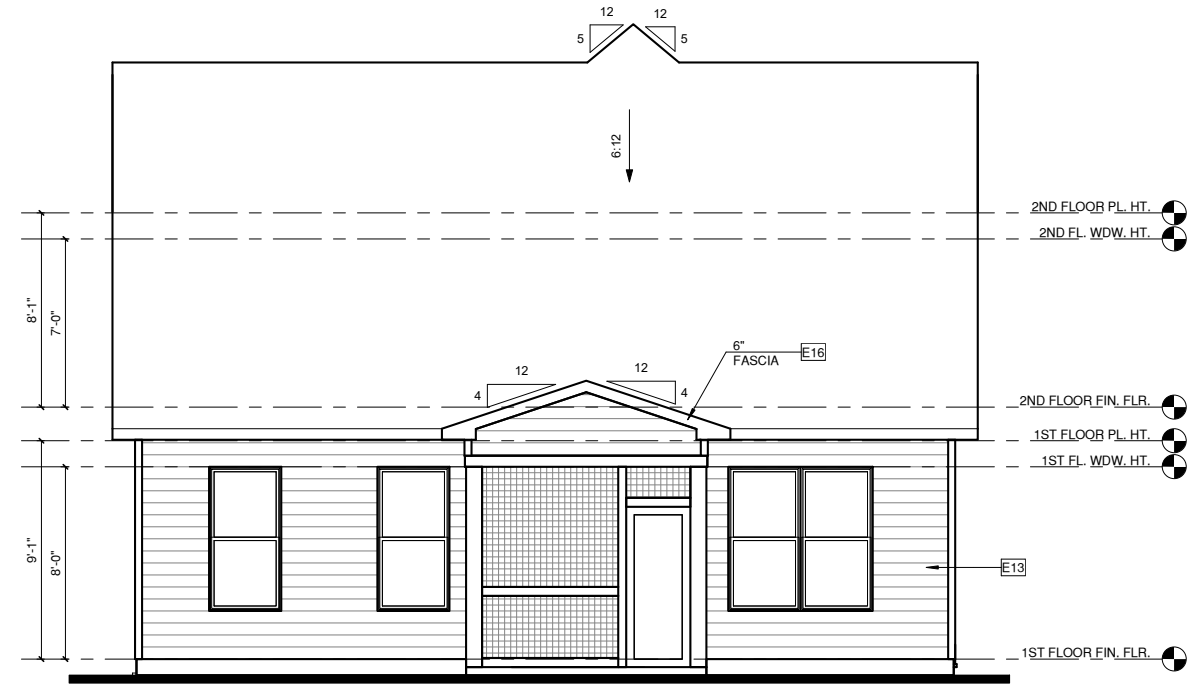
**REAR ELEVATION '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

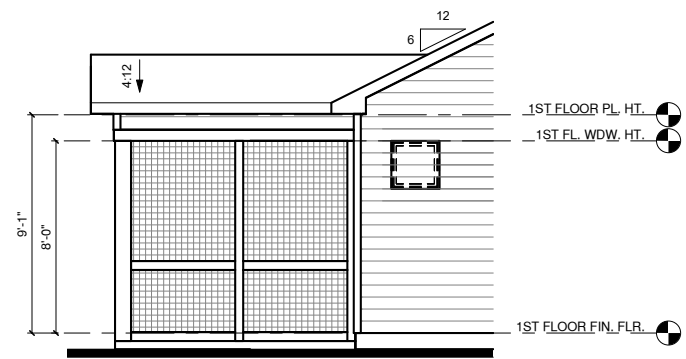
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER BUILDER.
- WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY BUILDER
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
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E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
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E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED



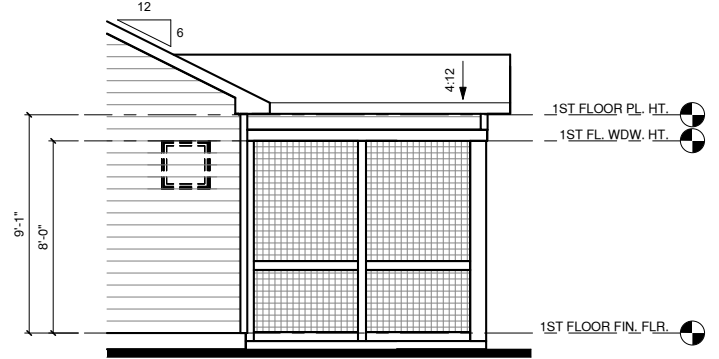
**REAR ELEVATION W/ OPT. SCREENED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**LEFT ELEVATION W/ OPT. SCREENED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**RIGHT ELEVATION W/ OPT. SCREENED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
SUITE C  
CARY, NC 27511  
PHONE: (919) 320-3022

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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

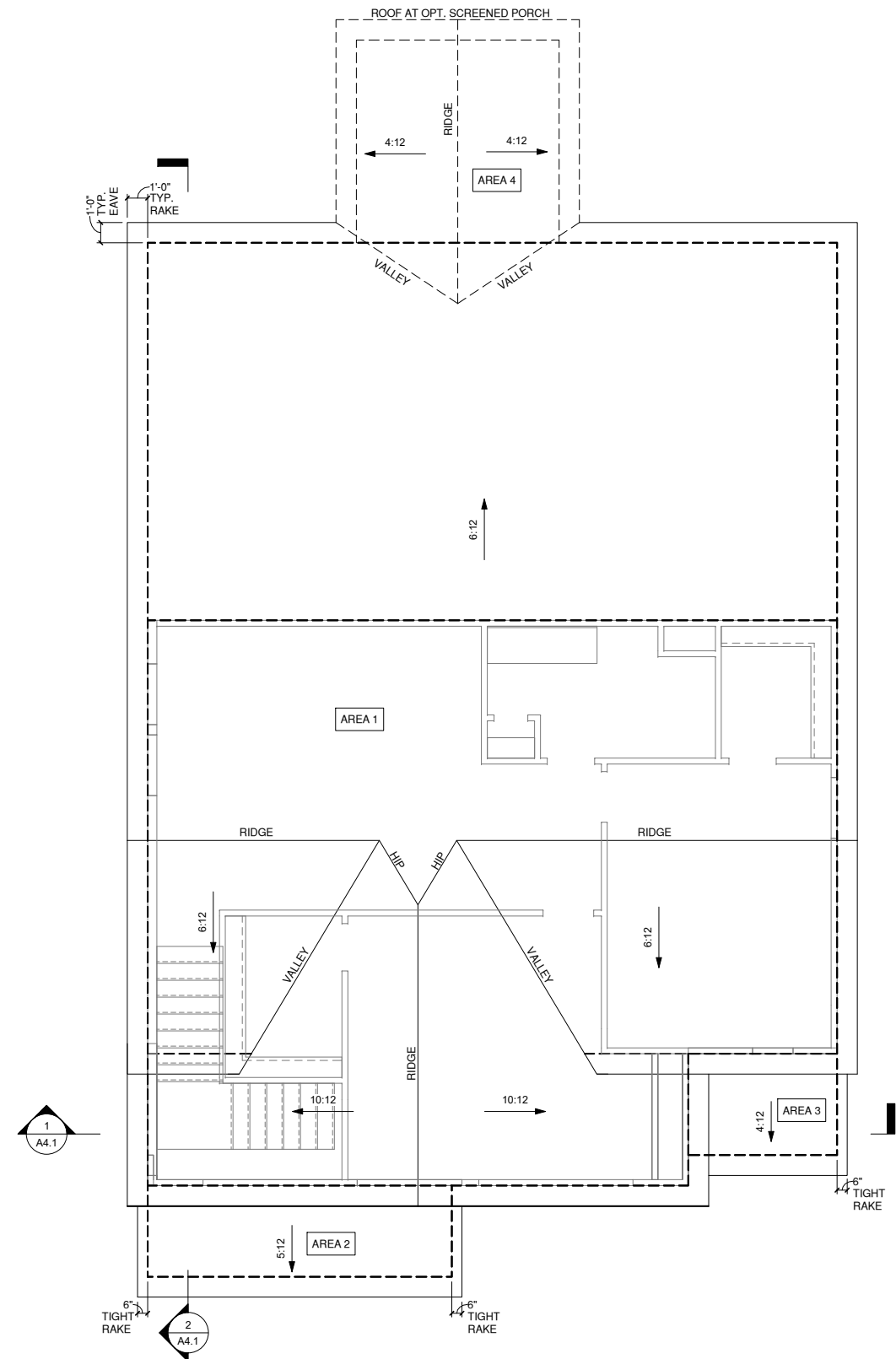
PROJECT NO:  
JACKSON

SHEET TITLE:

**ELEVATION OPTIONS**

PRINT DATE:  
01.03.17

SHEET NO:  
**A5.1.1**



1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING 1-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p><b>NOTES:</b></p> <ul style="list-style-type: none"> <li>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>□ DASHED LINES INDICATE WALL BELOW.</li> <li>□ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>□ PITCHED ROOFS AS NOTED.</li> <li>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>	

ROOF VENT CALC. ELEV. '1'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1533 SF	368.00 in <sup>2</sup>	736.00 in <sup>2</sup>
AREA 2	68 SF	16.20 in <sup>2</sup>	32.40 in <sup>2</sup>
AREA 3	37 SF	8.80 in <sup>2</sup>	17.60 in <sup>2</sup>
AREA 4	100 SF	24.00 in <sup>2</sup>	48.00 in <sup>2</sup>

**ROOF PLAN '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:

1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS

2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS

3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**ELEVATION KEYNOTE LEGEND**

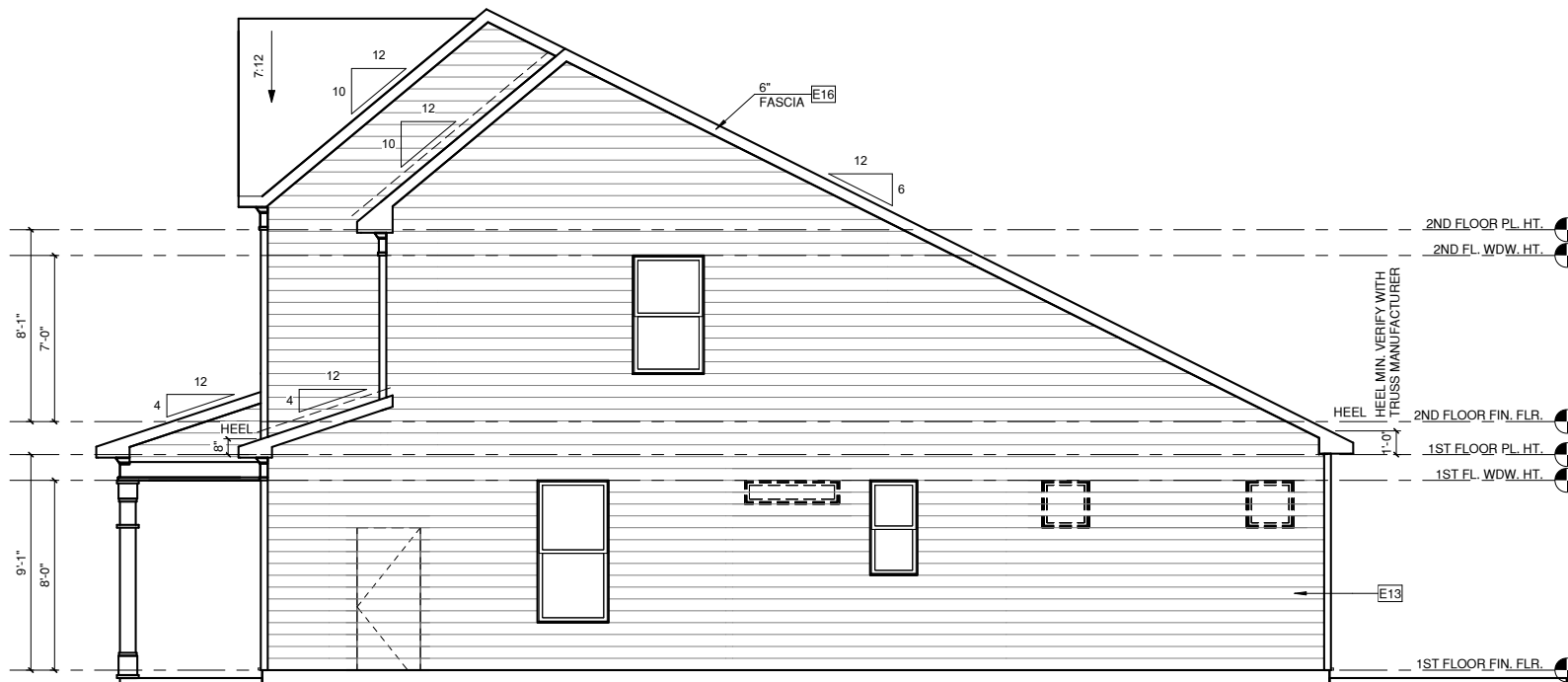
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E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
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E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED



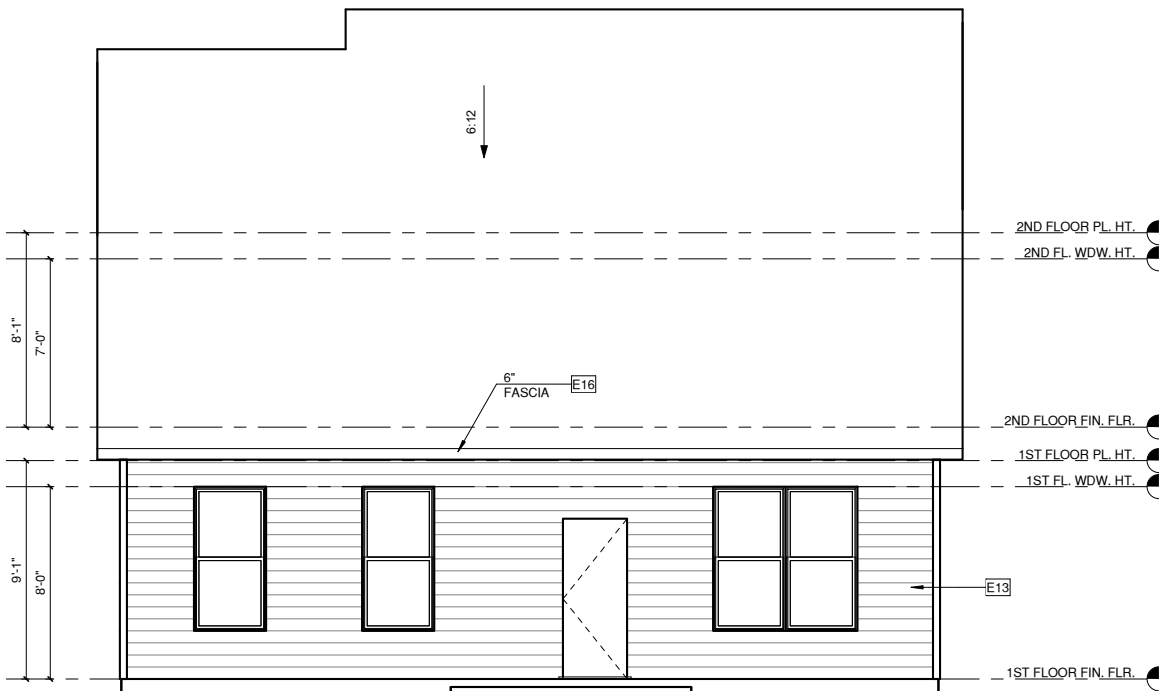
**LEFT ELEVATION '2'**  
 ③ 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FRONT ELEVATION '2'**  
 ① 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**RIGHT ELEVATION '2'**  
 ④ 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**REAR ELEVATION '2'**  
 ② 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE  
 102 FOUNTAIN BROOK CIRCLE  
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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
 QUACKENBUSH HOMES LLC  
 9220 FAIRBANKS DR SUITE 240  
 RALEIGH, NC 27613  
 919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
 JACKSON

SHEET TITLE:  
**ELEVATIONS '2'**

PRINT DATE:  
 01.03.17

SHEET NO:  
**A5.2**

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:

QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

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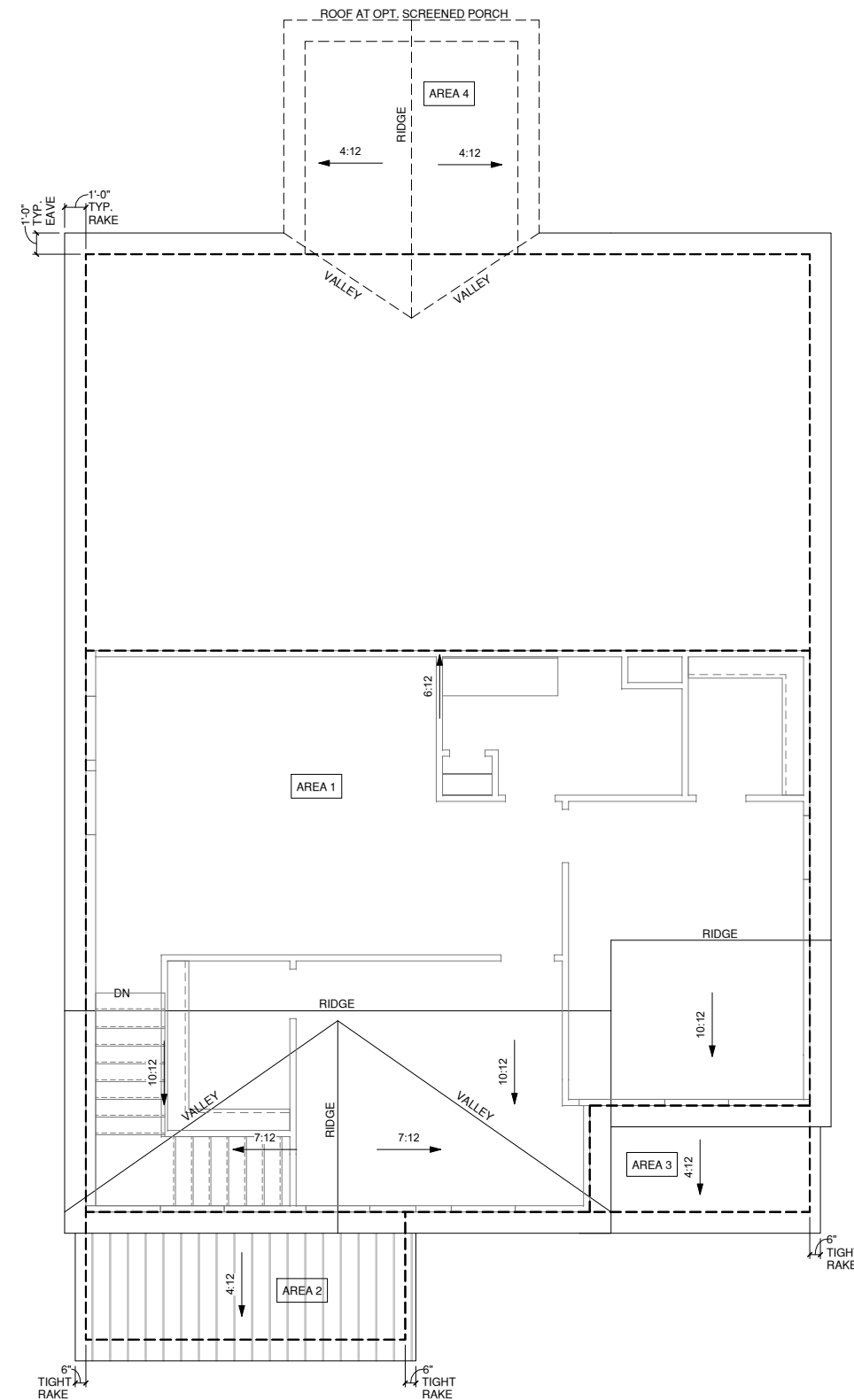
**ROOF PLAN '2'**

PRINT DATE:

01.03.17

SHEET NO:

**A5.2.1**



**ROOF PLAN '2'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p><b>NOTES:</b></p> <ul style="list-style-type: none"> <li>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>□ DASHED LINES INDICATE WALL BELOW.</li> <li>□ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>□ PITCHED ROOFS AS NOTED.</li> <li>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>	

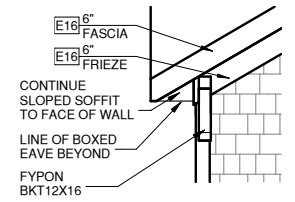
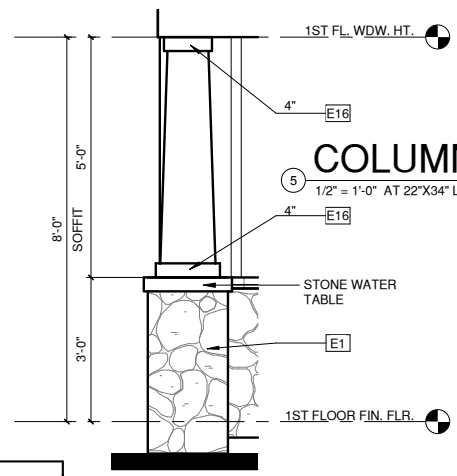
ROOF VENT CALC. ELEV. '2'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1478 SF	354.80 in <sup>2</sup>	709.60 in <sup>2</sup>
AREA 2	90 SF	21.60 in <sup>2</sup>	43.20 in <sup>2</sup>
AREA 3	52 SF	12.40 in <sup>2</sup>	24.80 in <sup>2</sup>
AREA 4	100 SF	24.00 in <sup>2</sup>	48.00 in <sup>2</sup>

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER BUILDER.
- WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY BUILDER
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

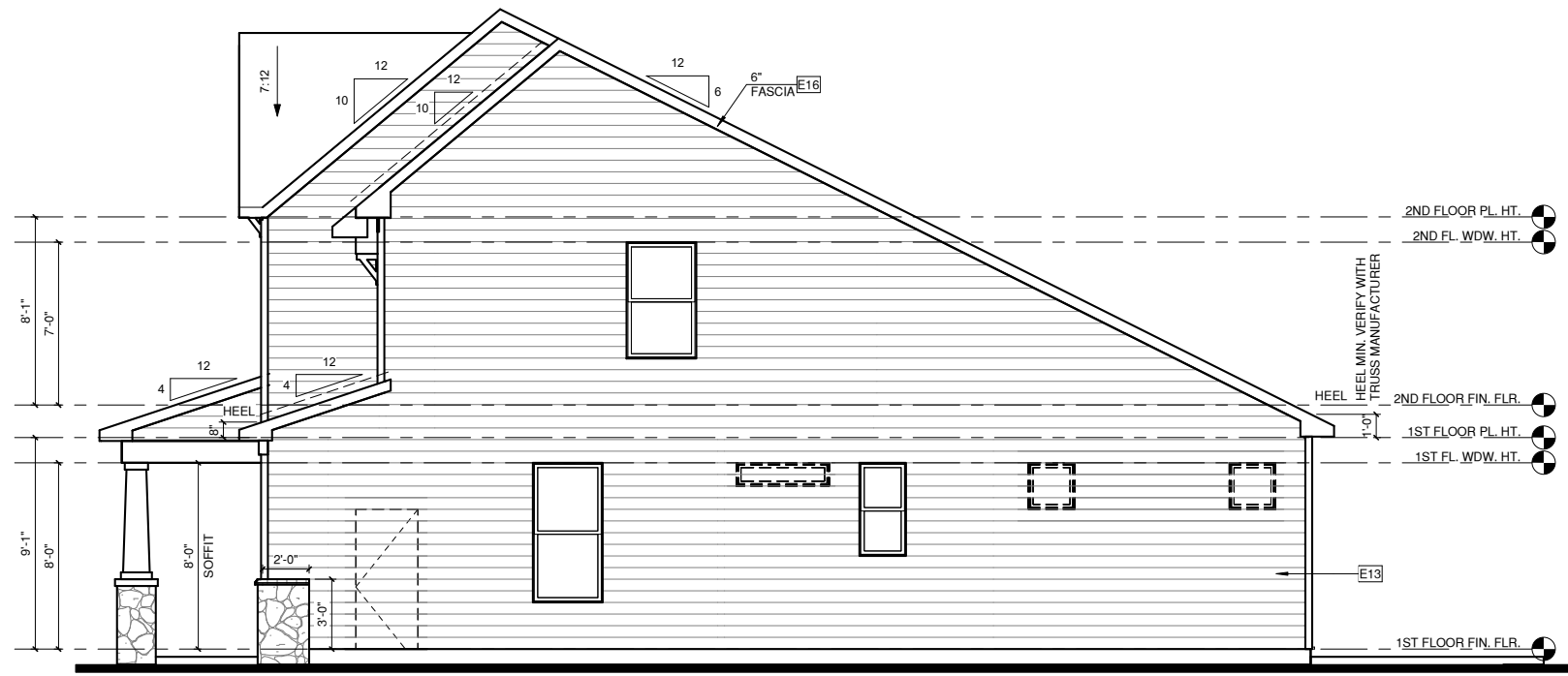
ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
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E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED



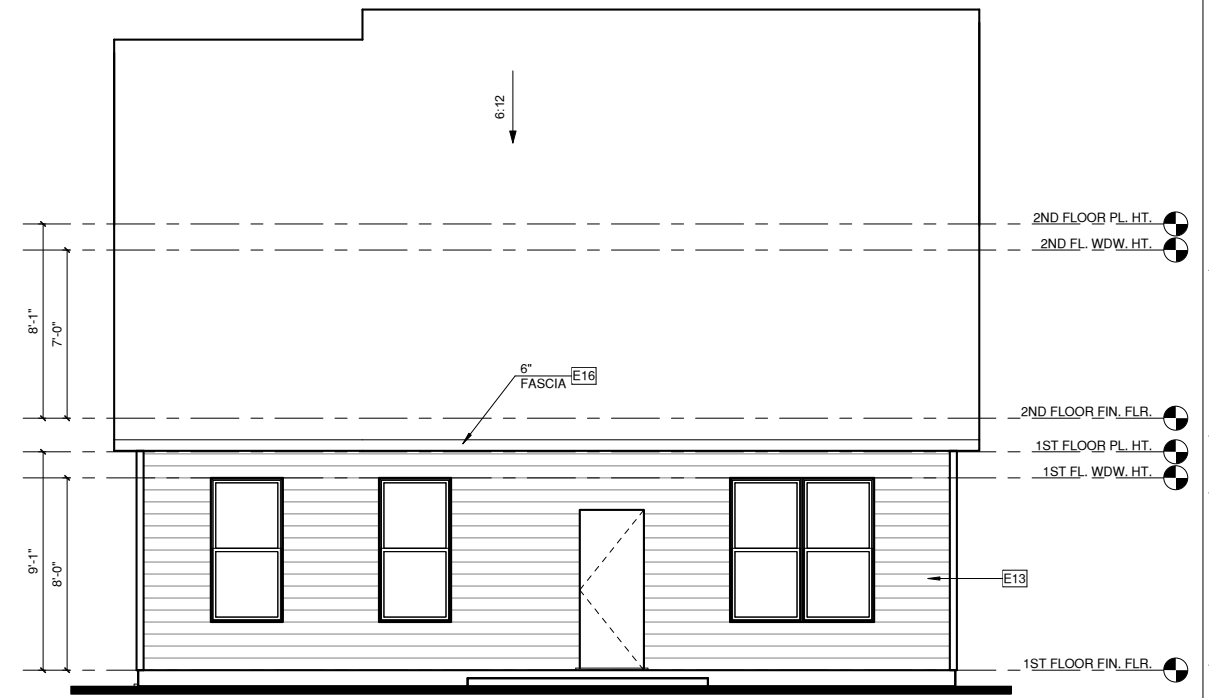
**LEFT ELEVATION '3'**  
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FRONT ELEVATION '3'**  
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NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:  
**ELEVATIONS '3'**

PRINT DATE:  
01.03.17

SHEET NO:  
**A5.3**



NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:

QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

JACKSON

SHEET TITLE:

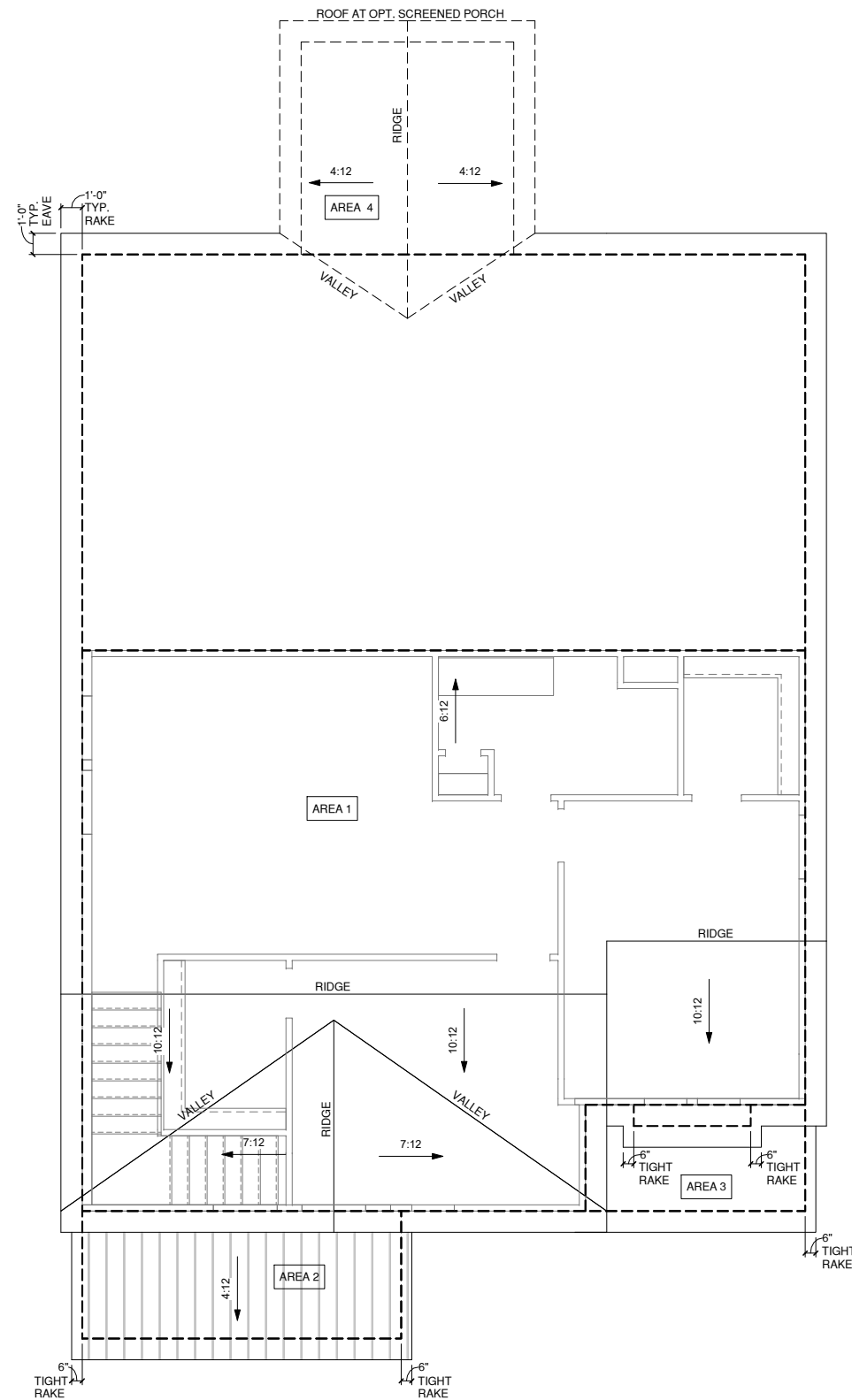
**ROOF PLAN '3'**

PRINT DATE:

01.03.17

SHEET NO:

**A5.3.1**



**ROOF PLAN '3'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p><b>NOTES:</b></p> <ul style="list-style-type: none"> <li>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>□ DASHED LINES INDICATE WALL BELOW.</li> <li>□ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>□ PITCHED ROOFS AS NOTED.</li> <li>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>	

**ROOF VENT CALC. ELEV. '3'**

Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1478 SF	354.80 in <sup>2</sup>	709.60 in <sup>2</sup>
AREA 2	90 SF	21.60 in <sup>2</sup>	43.20 in <sup>2</sup>
AREA 3	52 SF	12.40 in <sup>2</sup>	24.80 in <sup>2</sup>
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**NOTES:**

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1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

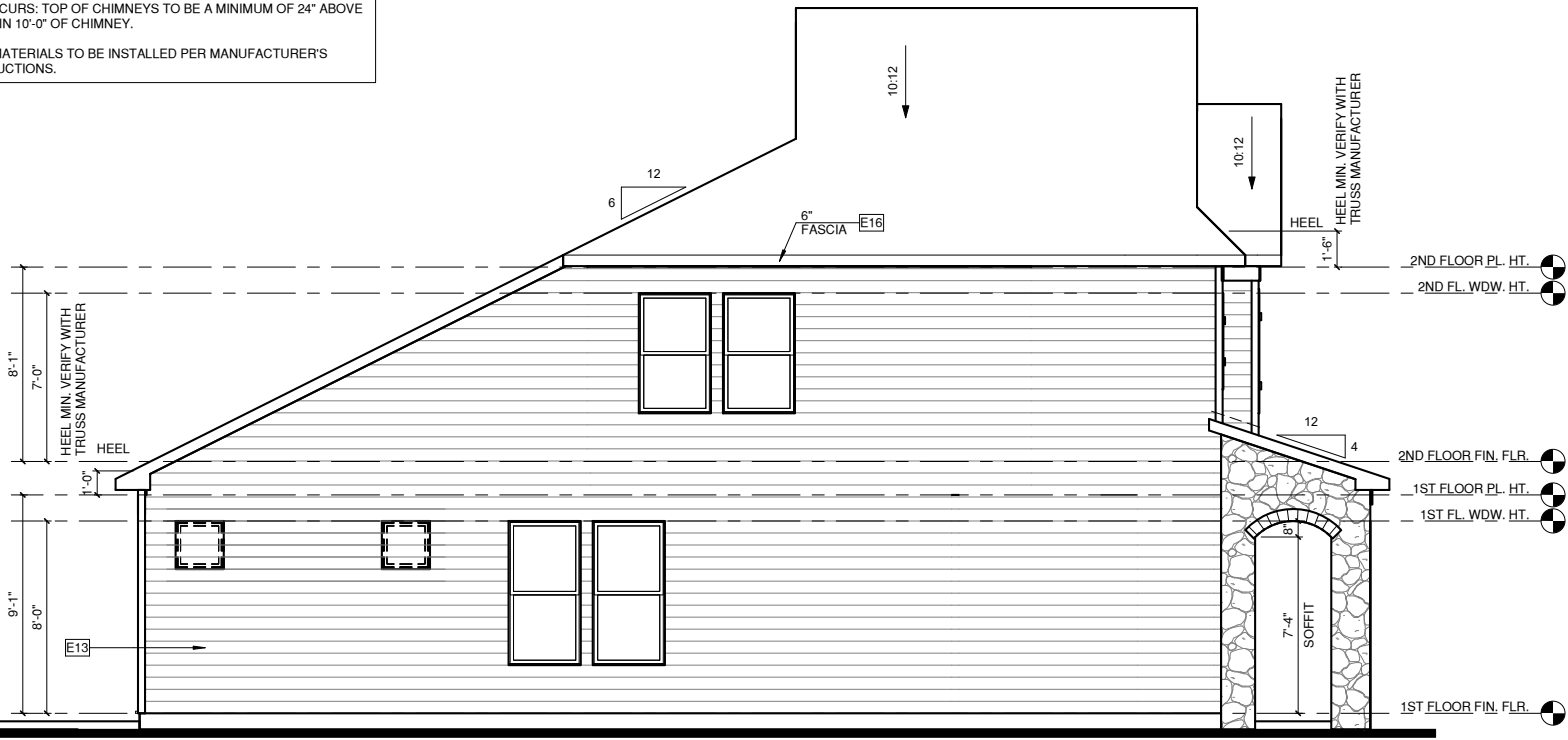
-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**ELEVATION KEYNOTE LEGEND**

E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
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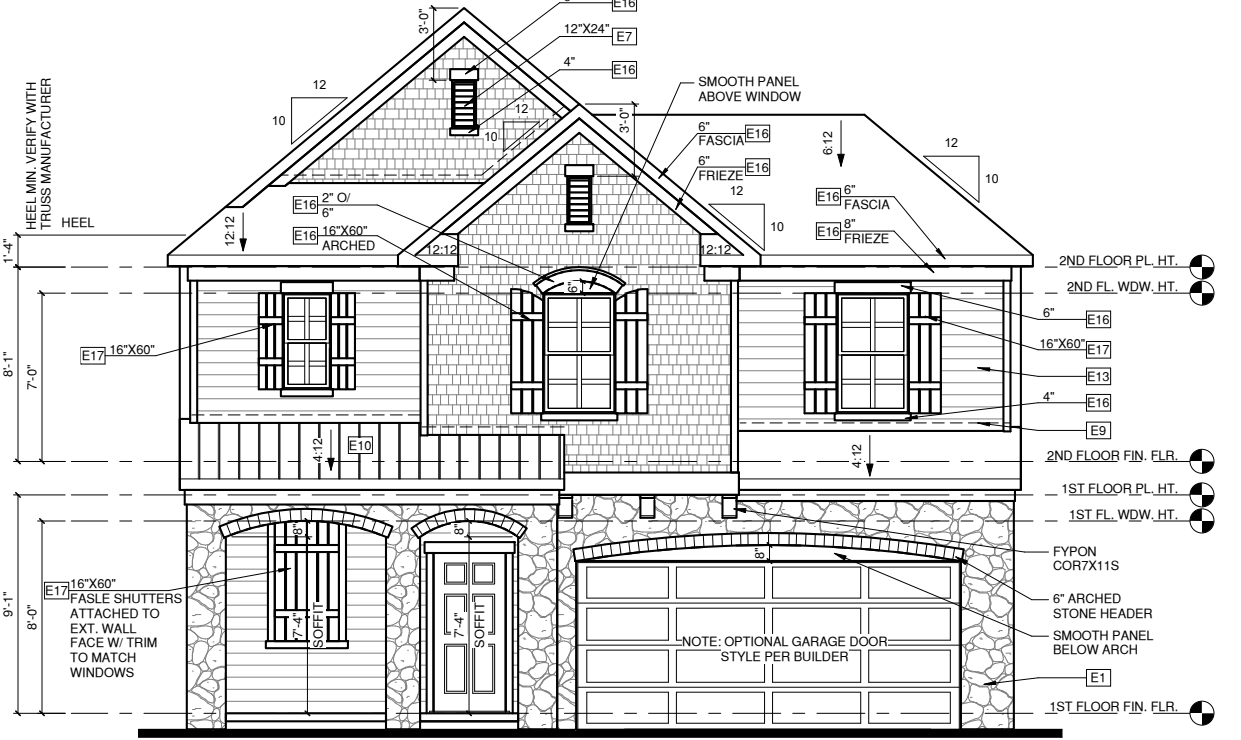
**LEFT ELEVATION '4'**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



**RIGHT ELEVATION '4'**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



**FRONT ELEVATION '4'**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



**REAR ELEVATION '4'**

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QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

JACKSON

SHEET TITLE:

**ELEVATIONS '4'**

PRINT DATE:

01.03.17

SHEET NO:

**A5.4**

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:  
QUACKENBUSH HOMES LLC  
9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

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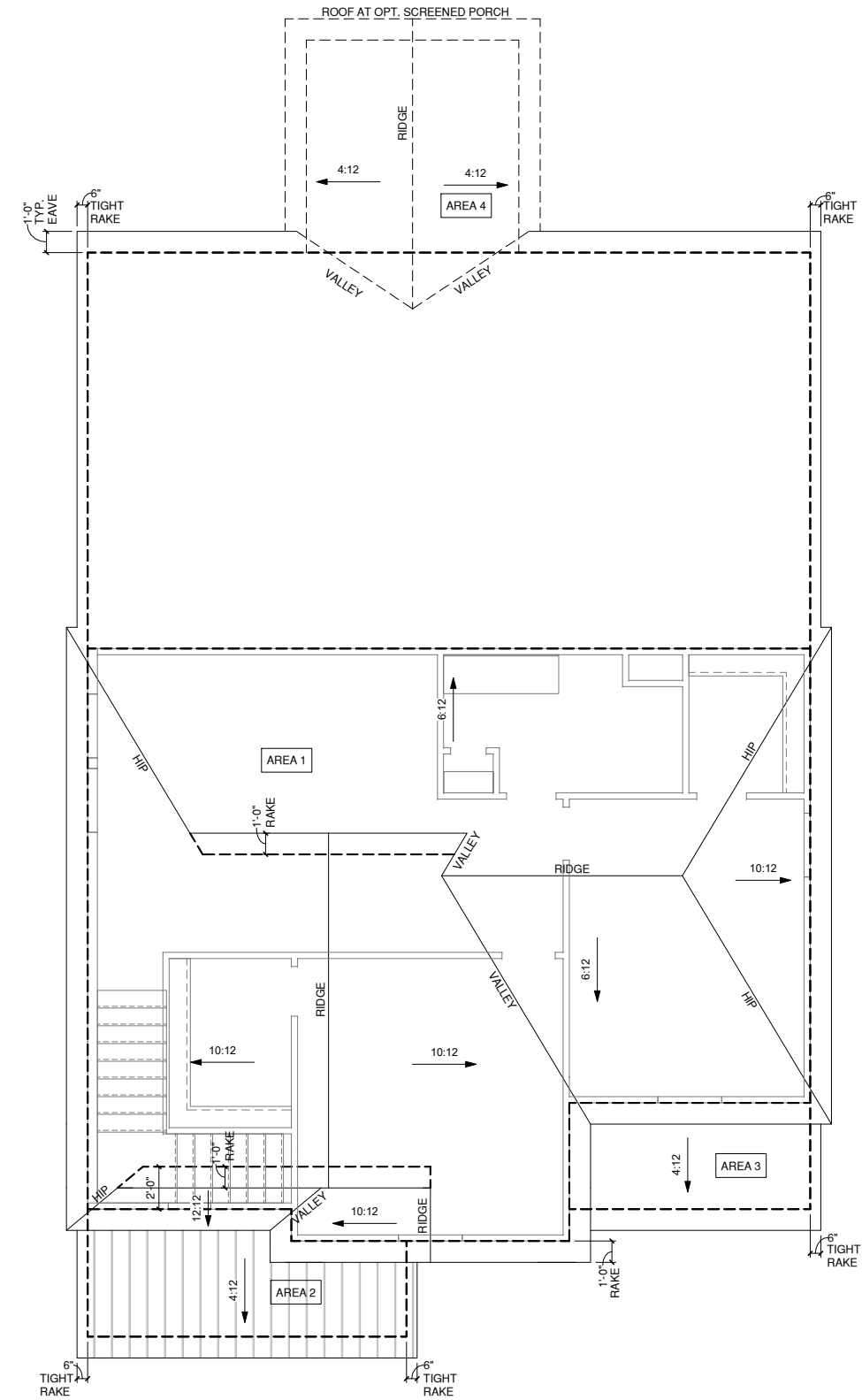
**ROOF PLAN '4'**

PRINT DATE:

01.03.17

SHEET NO:

**A5.4.1**

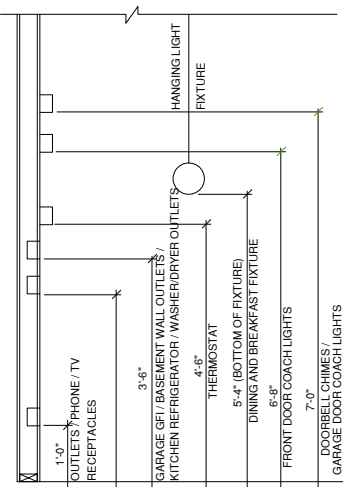


**ROOF PLAN '4'**

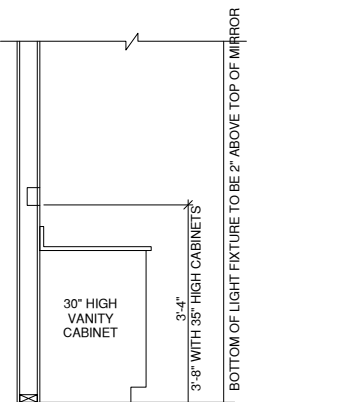
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1/150 RATIO:	1/300 RATIO:
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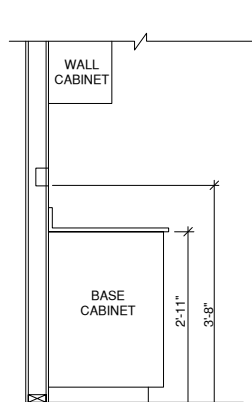
ROOF VENT CALC. ELEV. '4'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1493 SF	358.31 in <sup>2</sup>	716.62 in <sup>2</sup>
AREA 2	82 SF	19.65 in <sup>2</sup>	39.30 in <sup>2</sup>
AREA 3	57 SF	13.60 in <sup>2</sup>	27.20 in <sup>2</sup>
AREA 4	100 SF	24.00 in <sup>2</sup>	48.00 in <sup>2</sup>



**STANDARD ELECTRICAL BOX HEIGHTS**



**SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS**

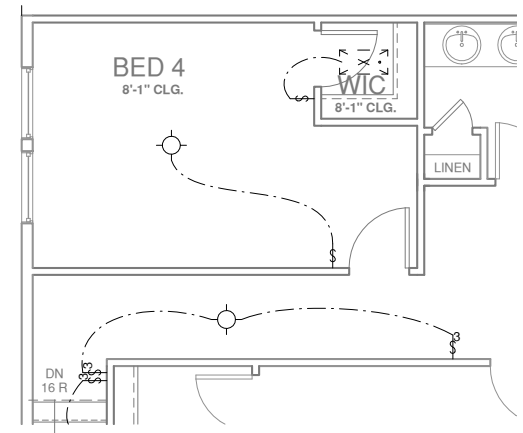


**SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

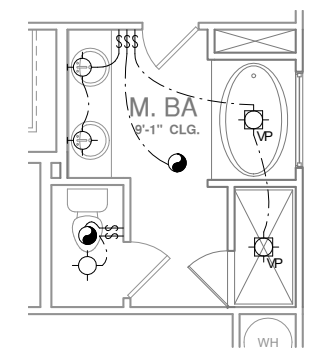
- NOTES:**
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
  - PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
  - FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
  - ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
  - PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
  - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
  - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATON DUE TO FIELD CONDITIONS.
  - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

**LEGEND:**

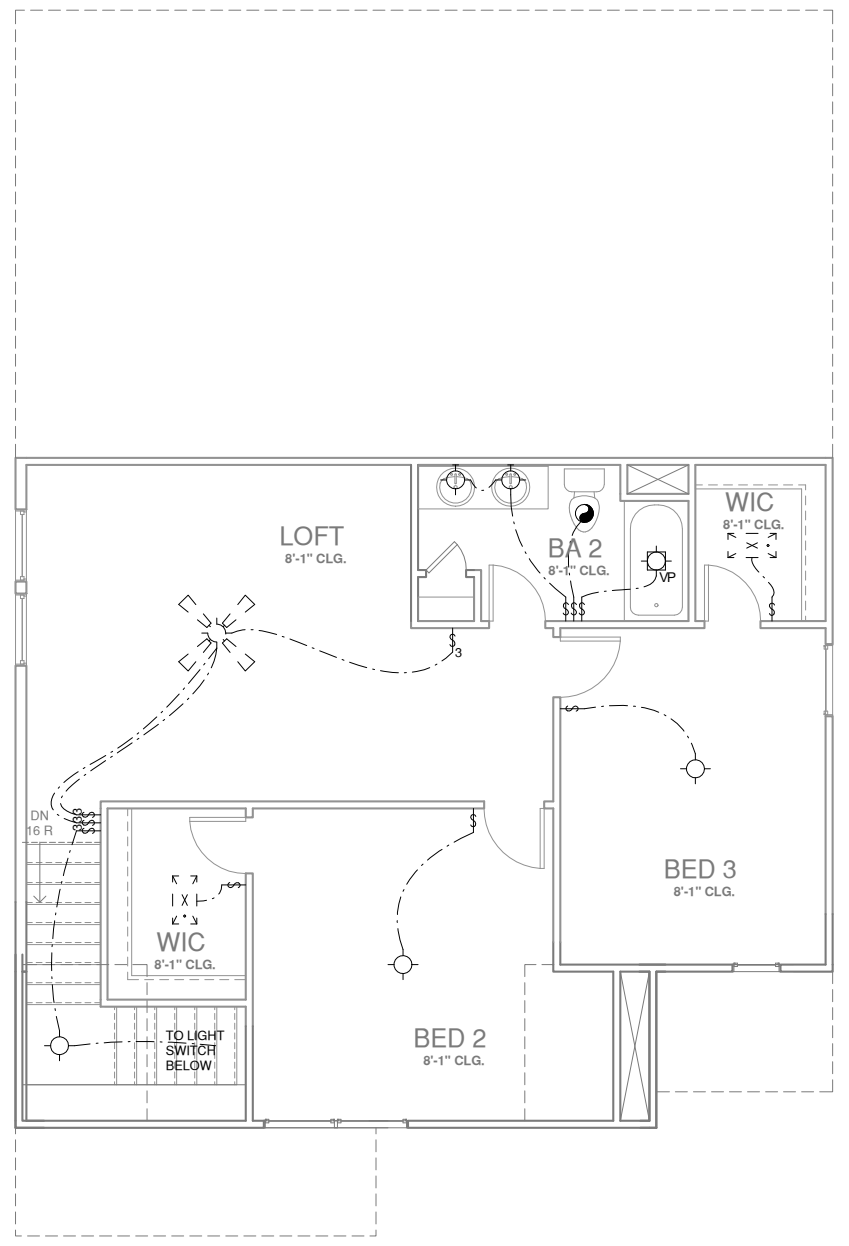
⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊕ 220V	220 VOLT OUTLET	⊙	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM
⊕ 3	THREE-WAY SWITCH	⊙	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ 4	FOUR-WAY SWITCH	⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
CH	CHIMES	⊕	GAS SUPPLY WITH VALVE
⊕	PUSHBUTTON SWITCH	⊕	HOSE BIBB
⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	1/4" WATER STUB OUT
⊕	CO2 DETECTOR	⊕	WALL SCONCE
⊕	THERMOSTAT		
PH	TELEPHONE		
TV	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



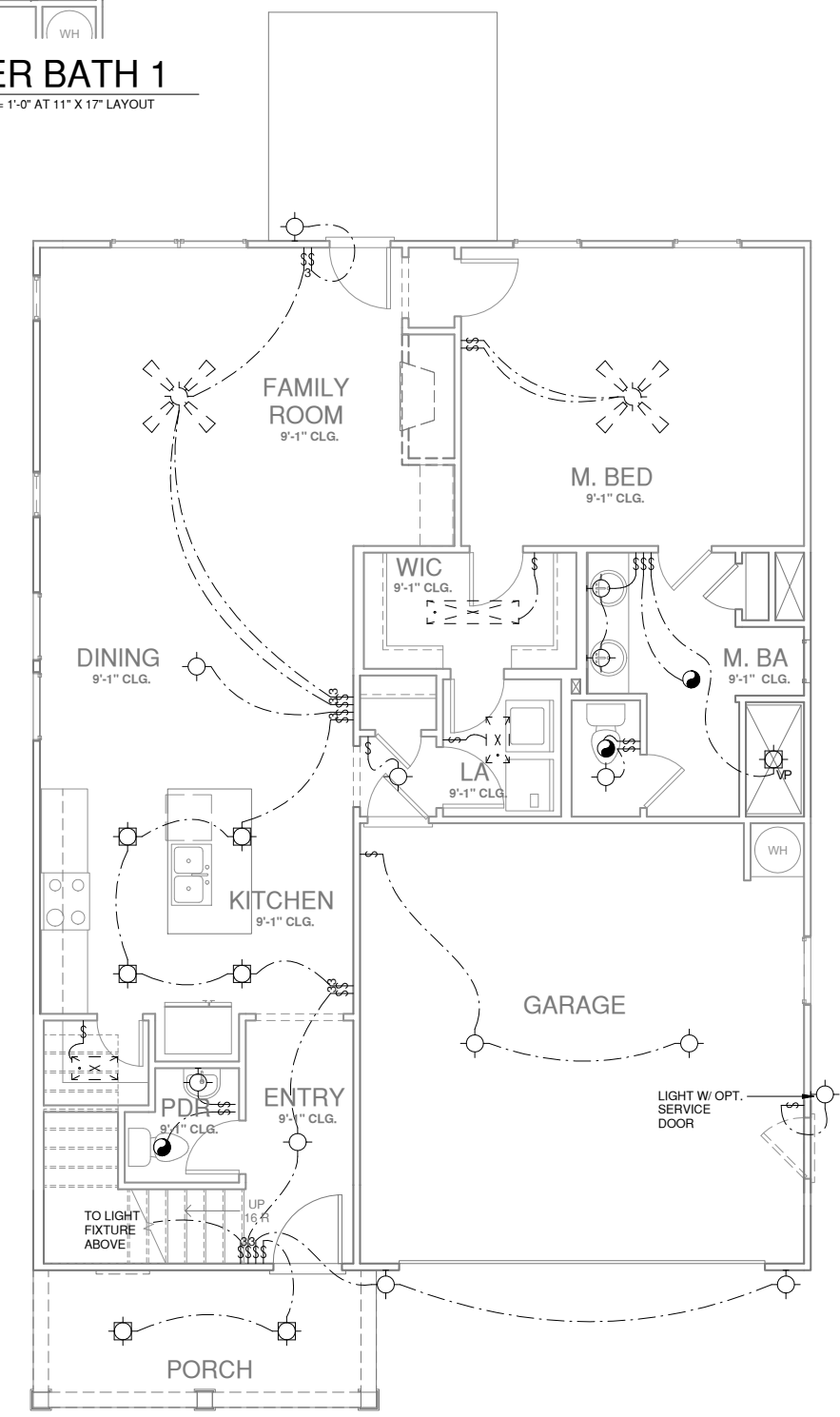
**OPT. BED 4 I.L.O. LOFT**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**OPT. MASTER BATH 1**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**SECOND FLOOR ELEV '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FIRST FLOOR ELEV '1'**  
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9220 FAIRBANKS DR SUITE 240  
RALEIGH, NC 27613  
919-741-7993

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:  
JACKSON

SHEET TITLE:  
**UTILITY PLANS**

PRINT DATE:  
01.03.17

SHEET NO:  
**E1.0**